

CONSTRUCTION DOCUMENTS
PORTFOLIO
 M. GOEMANN

CONTENTS

CONSTRUCTION DOCUMENTS

STUDENT WORK

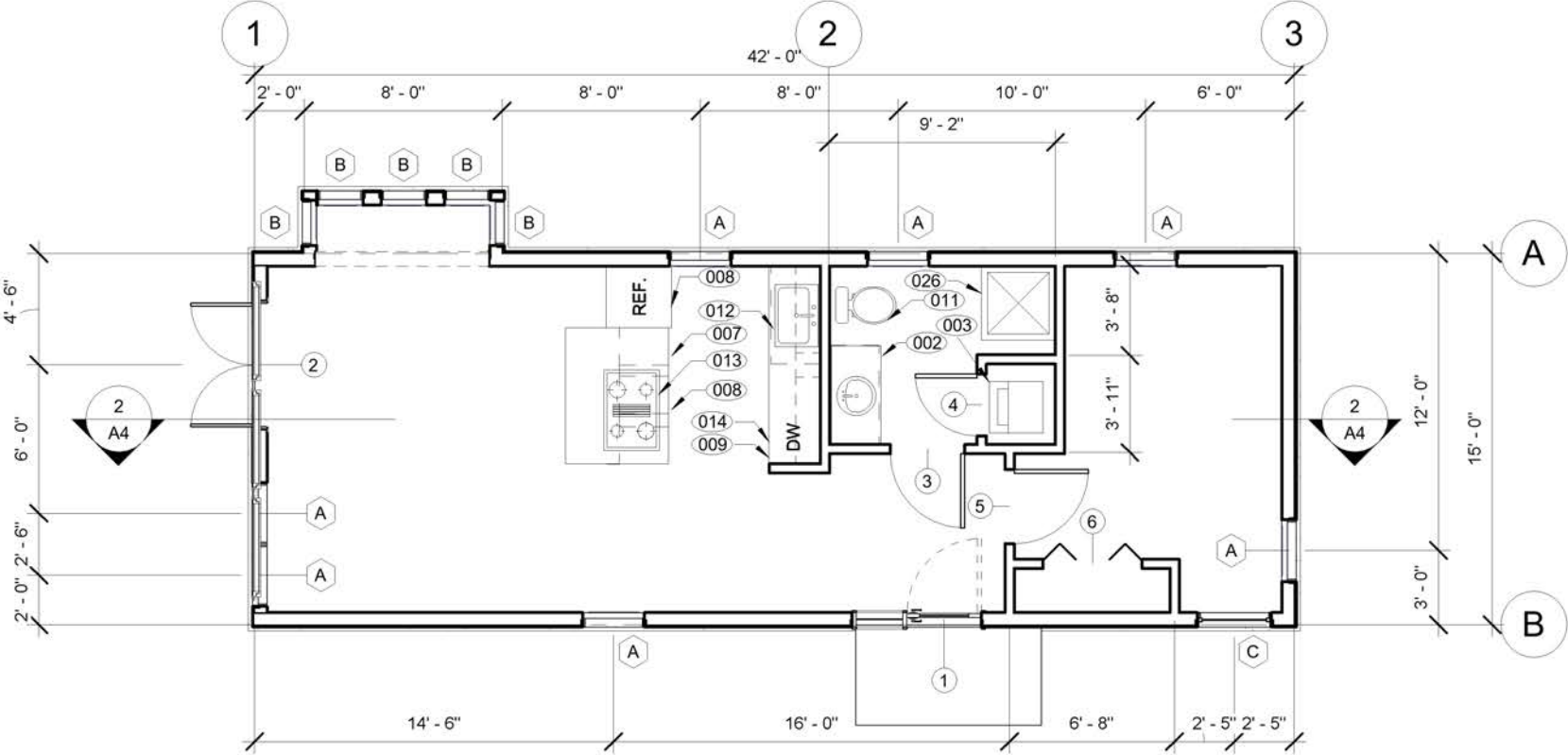
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PROFESSIONAL WORK

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4	709 STANLEY	22
5	798 SAXONY RD	28

STUDIO BLU

This was a semester-long project. The goal was to create a BIM and produce construction documents that used the Studio Blu template, which was available online. The main emphasis was creating sheets and details to explain the digital model. This class helped further the development of the Revit skill set while also introducing professional expectations to student work.



1 Level 1 FLOOR Plan
3/16" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
002	Vanity casework and sink (Contractor to provide shop dwg)
003	Stacked Washer/dryer unit (by owner)
007	Island casework (Refer to Kitchen elev.)
008	Refrigerator (by Owner)
009	Countertop
011	Toilet (by Owner)
012	Kitchen sink
013	Stove top
014	Dishwasher
026	Shower



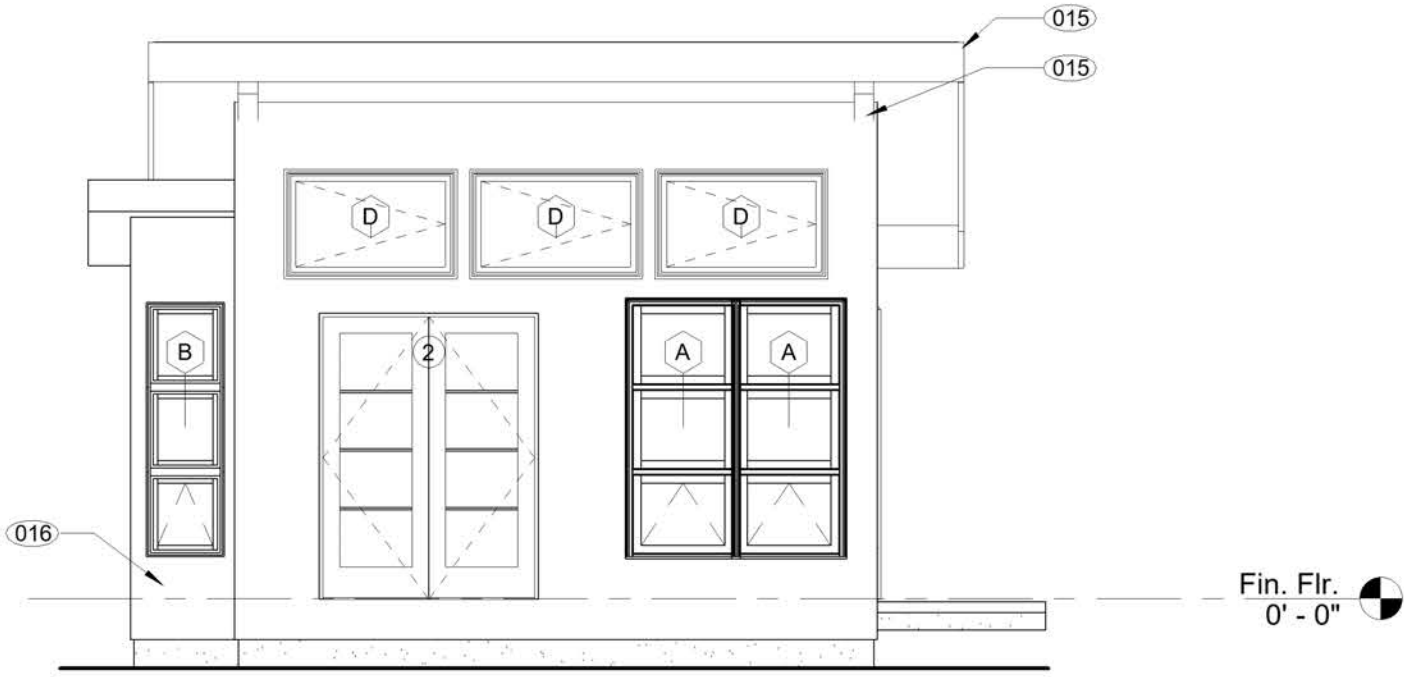
Studio Blu

Date	10/5/2016
Scale	3/16" = 1'-0"
Drawn by	M. Goemann
Project number	Project Number

A1



1 South
1/4" = 1'-0"



2 West
1/4" = 1'-0"

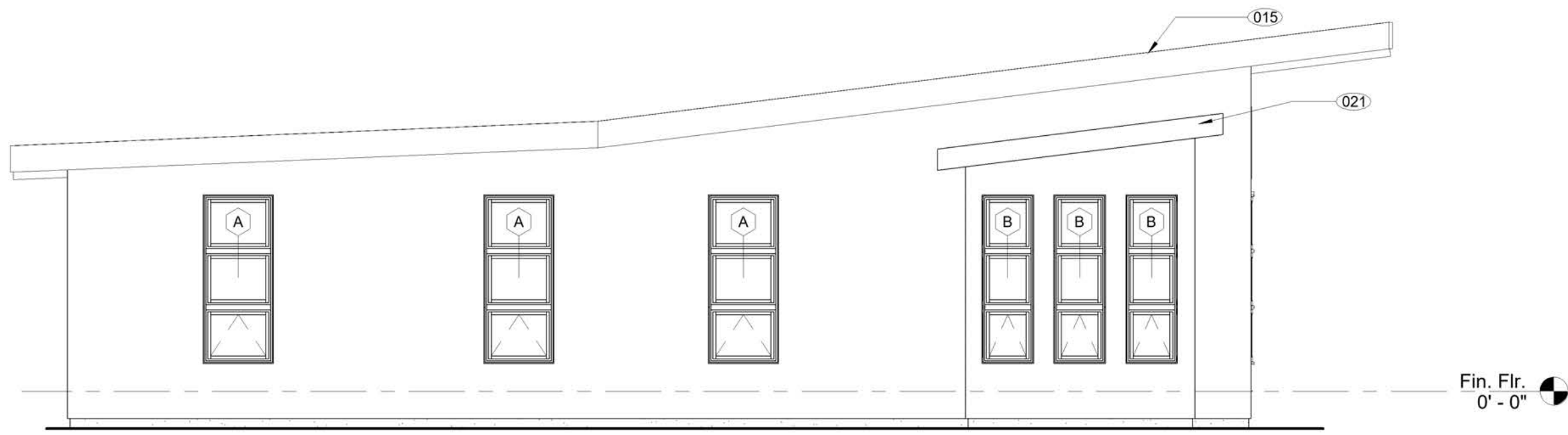
Keynote Legend	
Key Value	Keynote Text
015	Sash Fascia board
016	2x stud Wall exterior clapboard
021	Shingle Roof



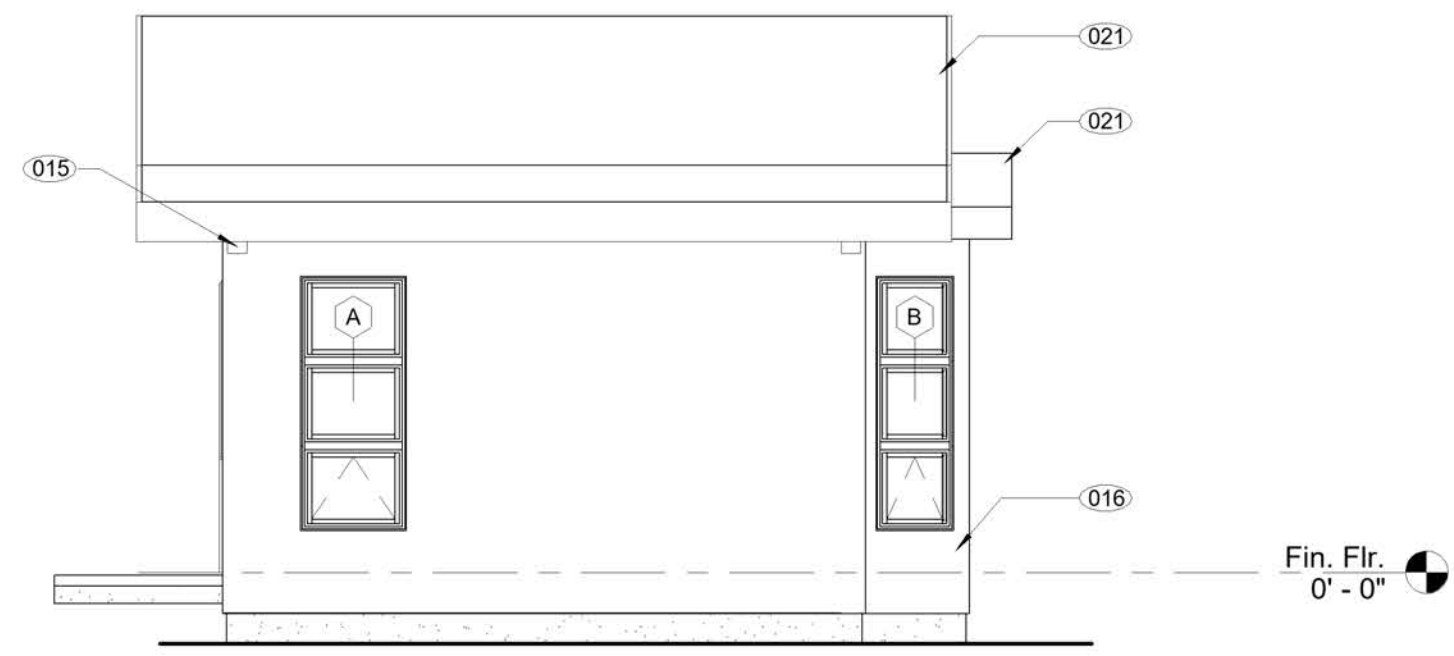
Studio Blu

Date	10/5/2016
Scale	1/4" = 1'-0"
Drawn by	M Goemann
Project number	Project Number

A2



1 North
1/4" = 1'-0"



2 East
1/4" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
015	Sash Fascia board
016	2x stud Wall exterior clapboard
021	Shingle Roof



Studio Blu

Date	10/5/2016
Scale	1/4" = 1'-0"
Drawn by	M Goemann
Project number	Project Number

A3

Studio Blu

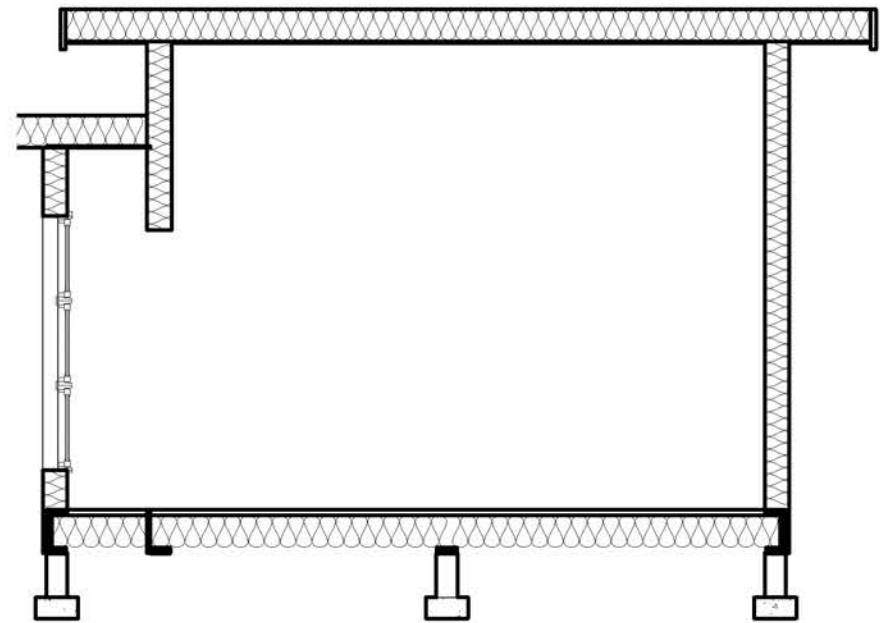
Date 10/5/2016

Scale 1/4" = 1'-0"

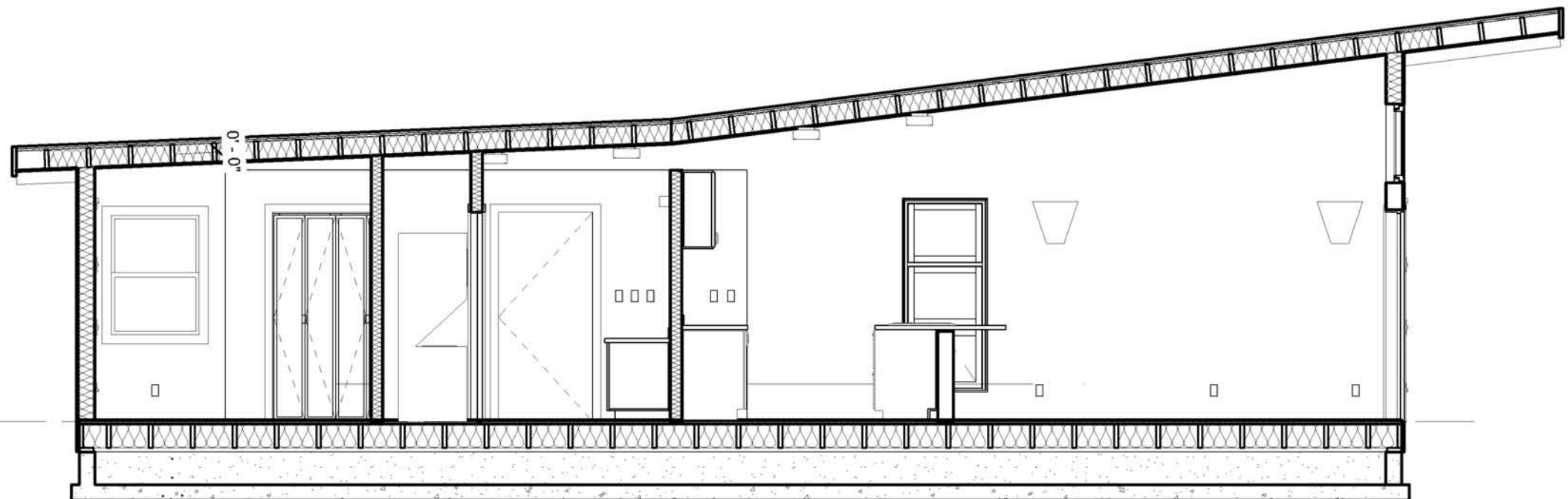
Drawn by
M Goemann

Project number Project
Number

A4

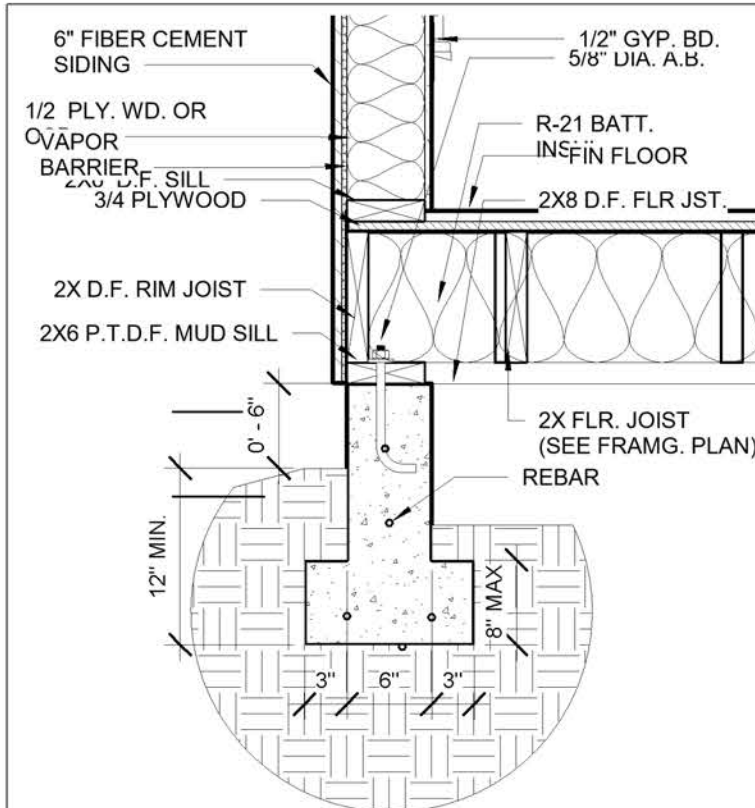


1 Section 1
1/4" = 1'-0"

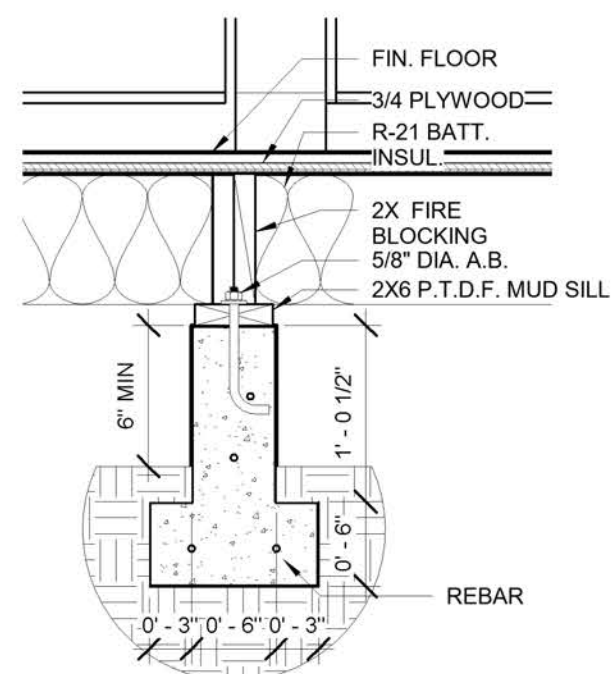


Fin. Flr.
0' - 0"

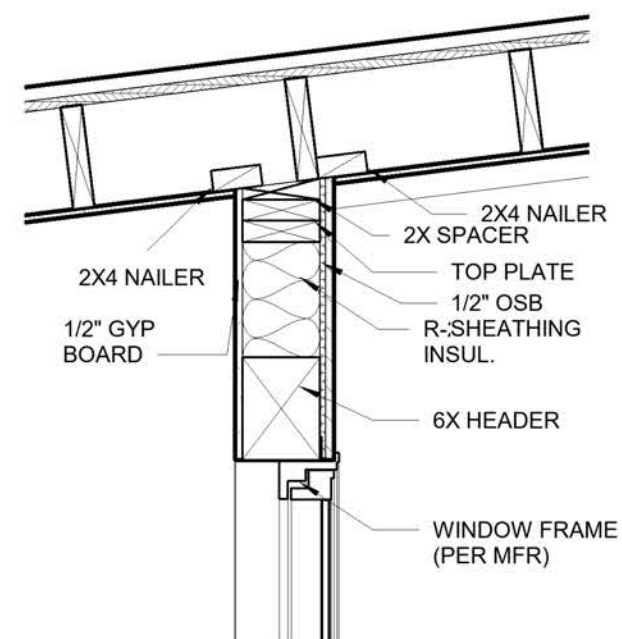
2 Section 2
1/4" = 1'-0"



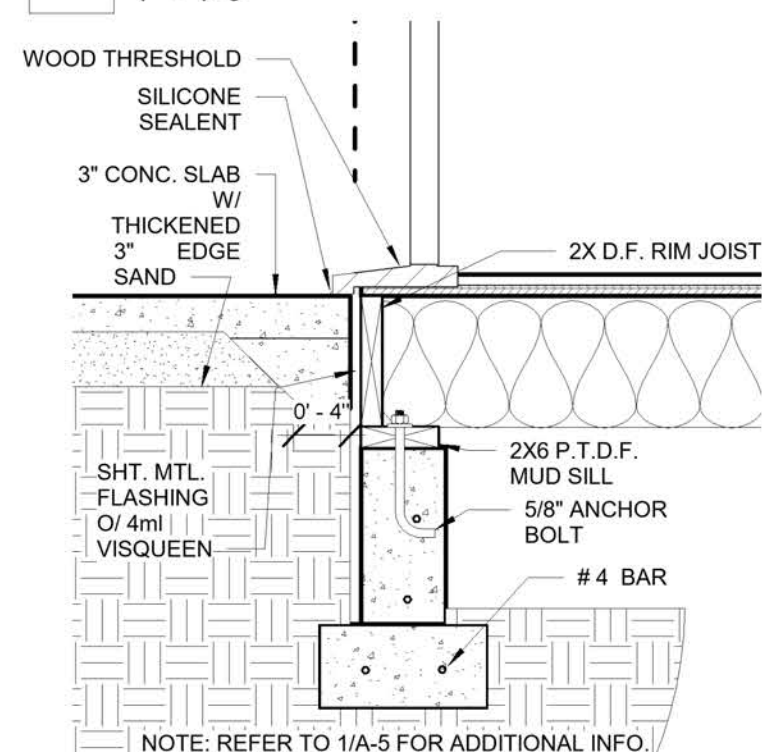
1 PERIMETER FTG.
1" = 1'-0"



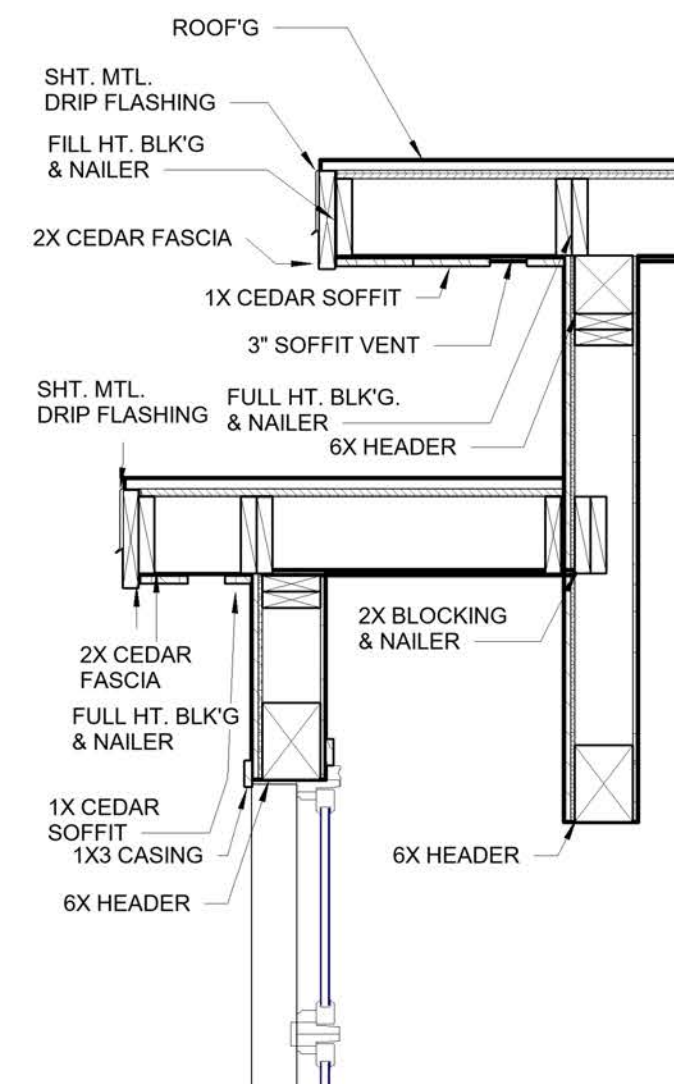
4 INTERIOR FTG.
1" = 1'-0"



2 WALL TO ROOF @ EAVE
1" = 1'-0"



5 PATIO SLAB EDGE @ FOOTING
1" = 1'-0"



6 WALL TO ROOF @ RAKE
3/4" = 1'-0"



Studio Blu

Date
10/5/2016

Scale
As indicated

Drawn by
M. GOEMANN

Project number
Project Number

A-5

Studio Blu

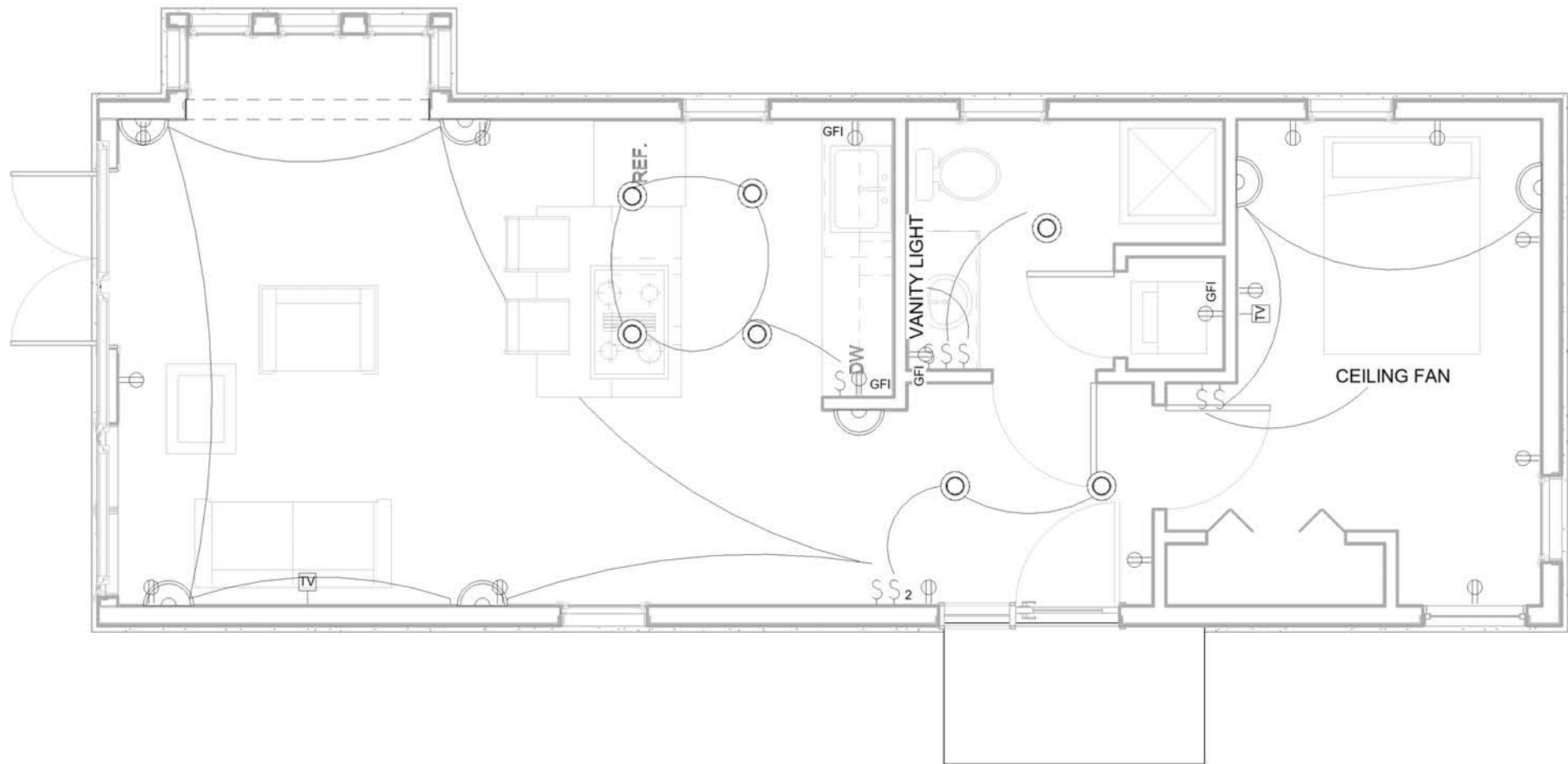
Date 10/5/2016

Scale As indicated

Drawn by
M. GOEMANN

Project number Project
Number

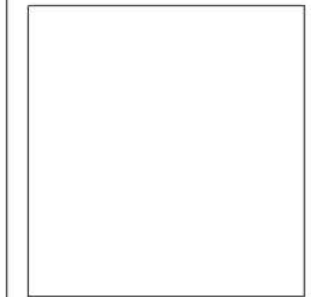
E1



1 Electrical Plan
1/4" = 1'-0"

Electrical Legend

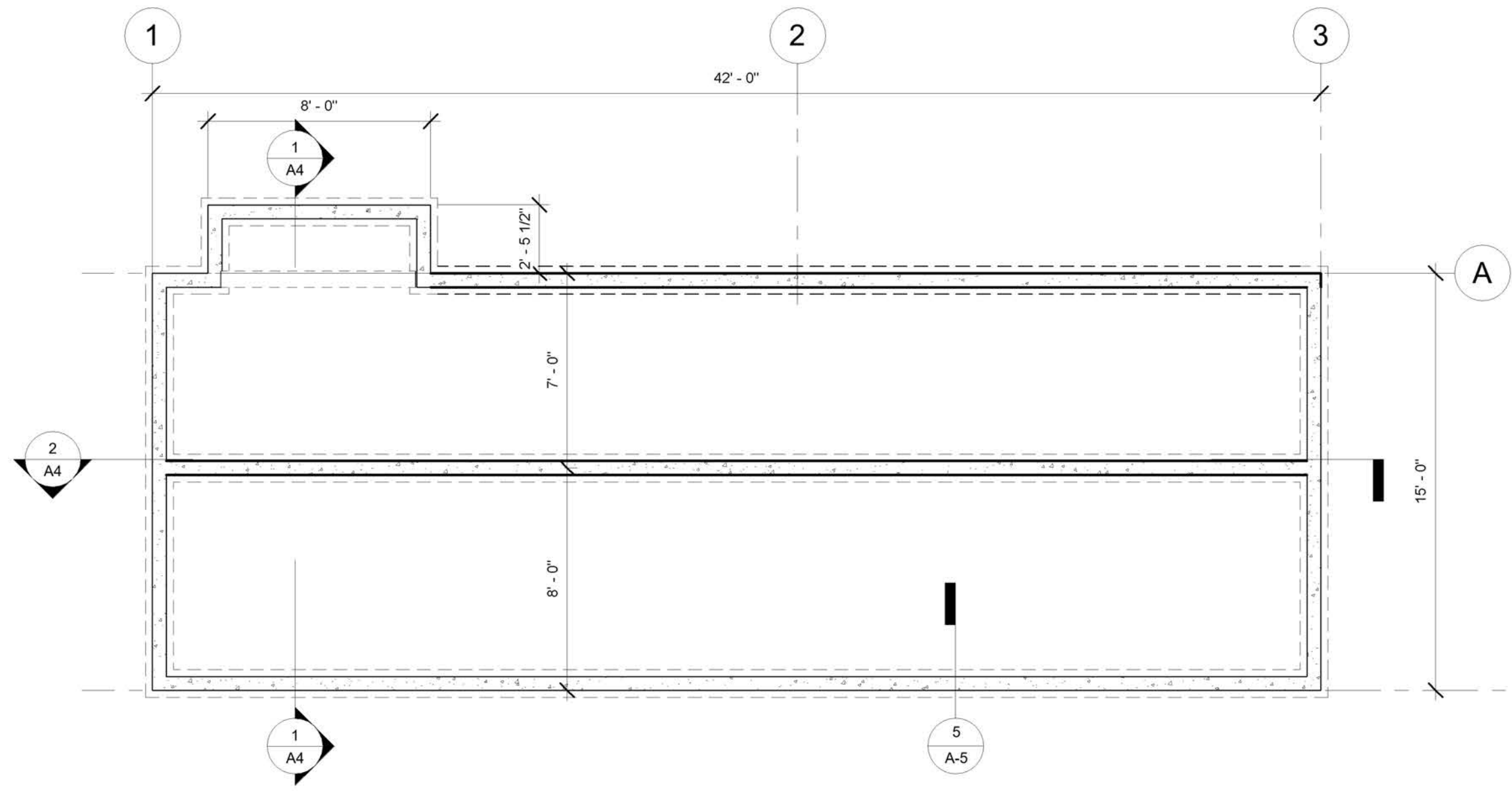
-  Outlet-Duplex: Single
-  GFI Outlet-GFI: Single
-  Outlet Switch- Double
-  Outlet Switch- Single
-  CATC Outlet



Studio Blu

Date 10/5/2016
Scale 1/4" = 1'-0"
Drawn by M Goemann
Project number Project Number

S1



1 2 Top of Footing.
1/4" = 1'-0"

Studio Blu

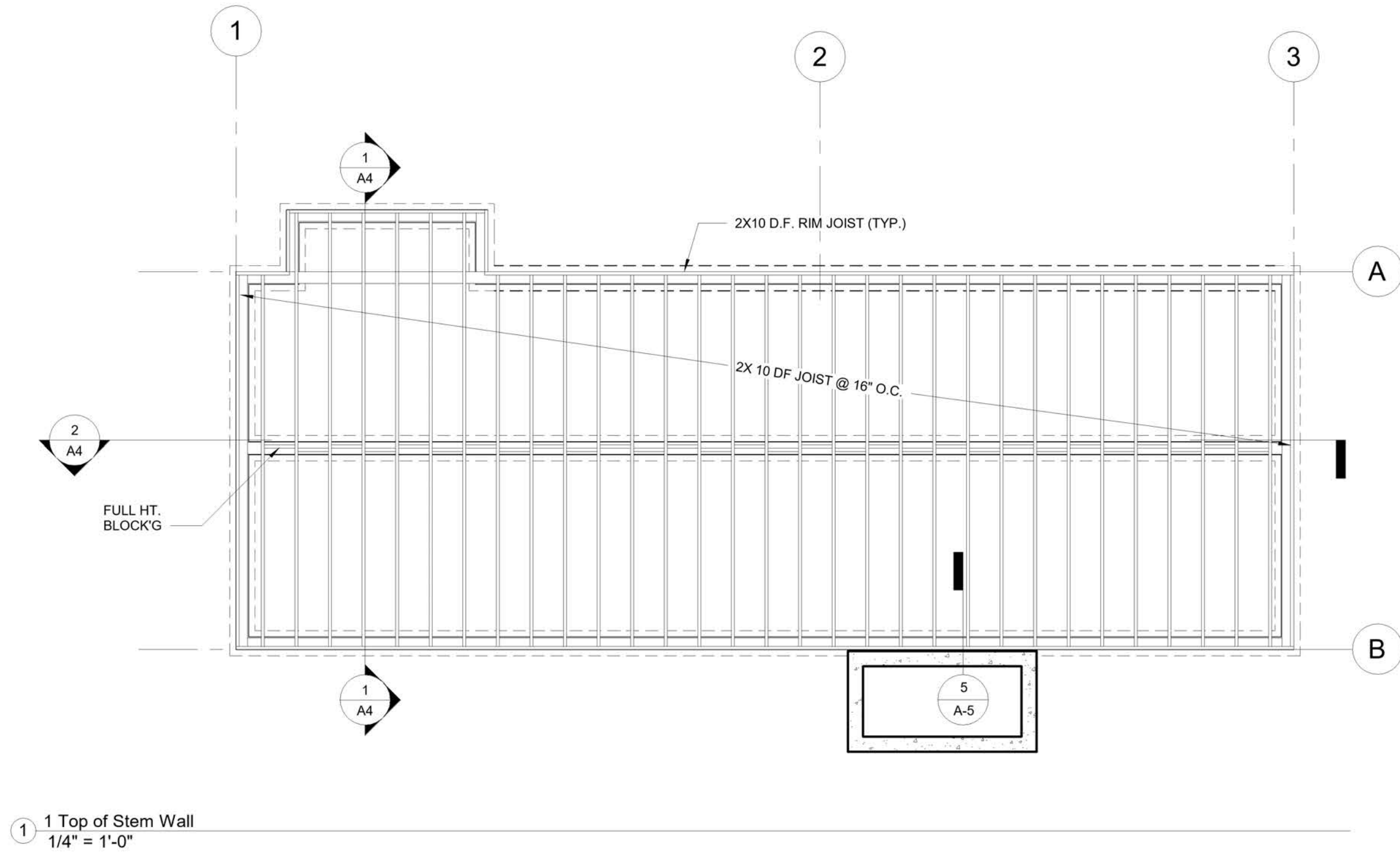
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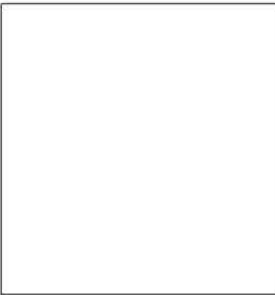
Scale 1/4" = 1'-0"

Drawn by
M Goemann

Project number Project
Number

S2





Studio Blu

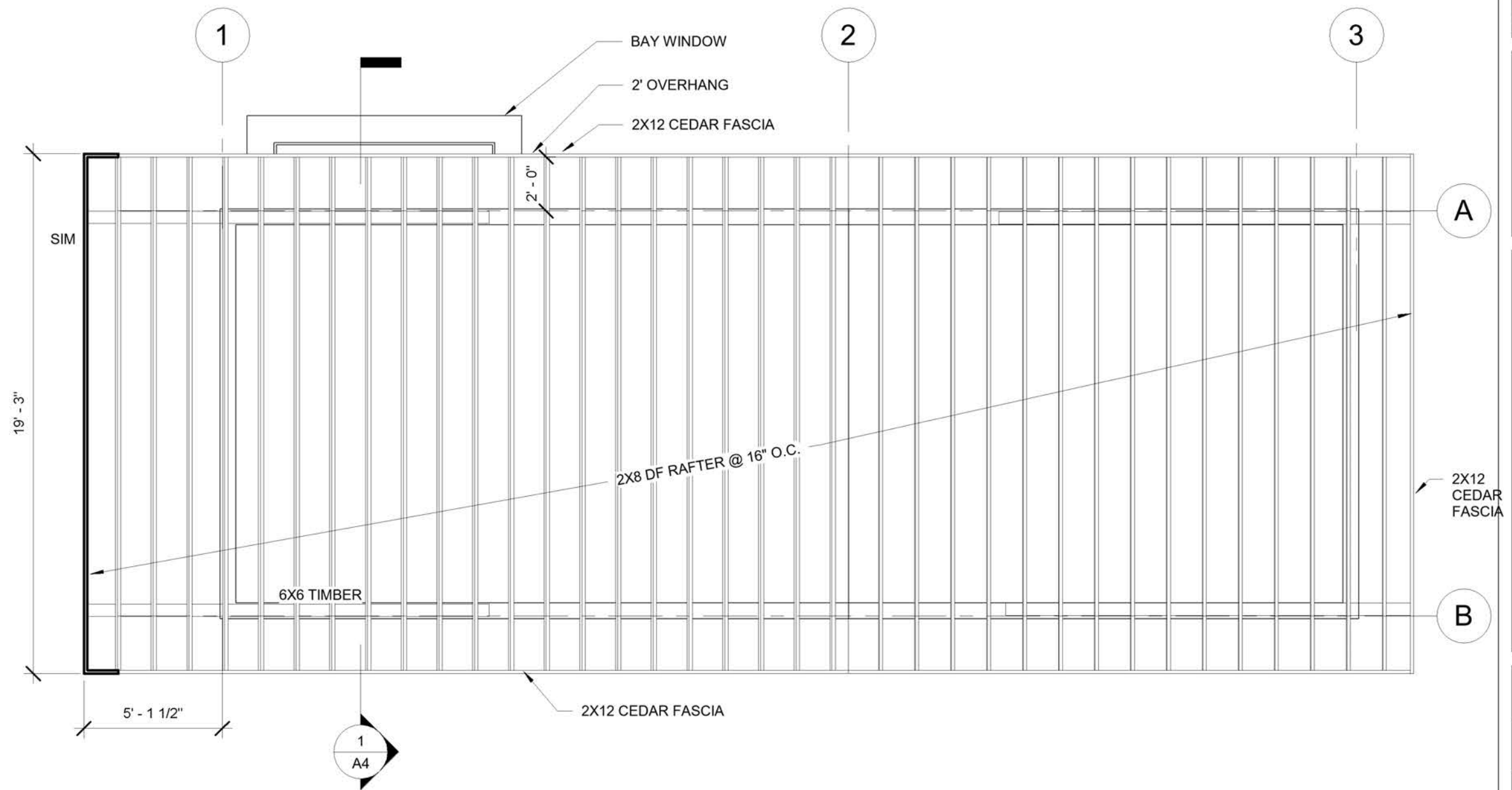
Date 10/5/2016

Scale 1/4" = 1'-0"

Drawn by M Goemann

Project number Project Number

S3



1 Level 2 T.O. Plate
1/4" = 1'-0"

IBLE OFFICE SPACE

This was a quarter-long project, during which time I had two partners: Minghui Li and Charlie Ngov.

Ming provided the plan from another assignment he had worked on in Autocad. I drafted it in Revit. Ming put in the trusses and helped with the HVAC layout. Charlie did research and presentation board layout.

I color-coded and drafted the rest of the project. I also did the RCP, the Fire Sprinkler Plan, and sheeted the final result.



THE ADAPTABLE OFFICE IS LOCATED IN SUNNY SAN DIEGOS TEMPERATE CLIMATE, WITH SWINGS AVERAGE BETWEEN 50 AND 70 DEGREES FEHRENHEIT. ORIGINALLY DESIGNED BY MINGHUI LI TO ALLOW FOR MULTIPLE USES FOR OCCUPANTS. UPON ENTERING THEY ARE GREETED BY A LARGE RECEPTION AREA WHERE THEY MAY WAIT COMFORTABLE BEFORE BEING USHERED INSIDE.

SITE NOTES

THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, BUTTER OR STROM DRAIN SYSTEM. FILTER WATER WITH BARRIERS AT ENTRANCE TO STORMWATER SYSTEMS.

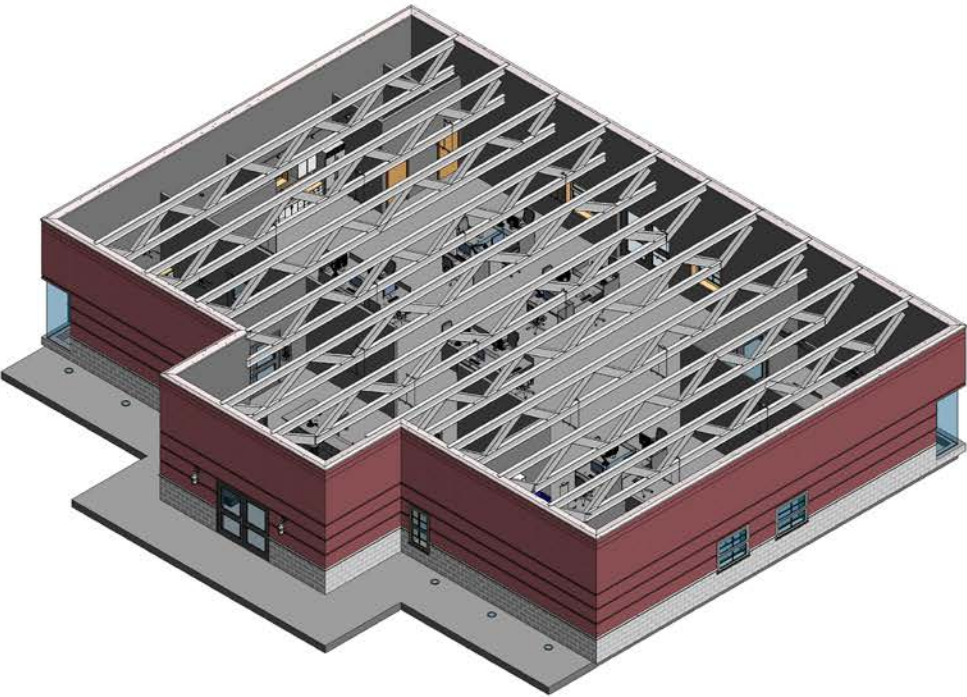
NORTH COUNTY SORM WATER PROGRAM WILL BE FOLLOWED.

FINISH GRADE WITHIN TEN FEET OF THE NEW STRUCTURE/ADDITION MUST SLOPE AWAY FROM BUILDING MINIMUM SIX INCES IN FIRST TEN FET FOR DRAINAGE PURPOSES.

A FOUNDATION FORMS CERTIFICATION THAT IS CERTIFIED BY A LICENSED LAND SURVEYOR MAY BE REQUIRED BY THE BUILDING INSPECTOR AT THE FIRST FOOTING INSPECTION.

IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSICE SOIS OR ANY GEOLOGICLA INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT MAY BE REQUIRED AND IS TO BE RESUBMITTED AT PLAN CHECK TO VERIFY THAT REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED.

POPOSED BUILDING ZONE 1 = LOBBY: 918 SF ZONE 2 = MAIN OFFICE SPACE: 3058 SF ZONE 3= LARGE CONFERENCE ROOM: 446 SF ZONE 5 = SMALL CONFERENCE ROOM: 375 SF ZONE 6 = TWO ADU BATHROOMS: 57 SF EA. TWO BATHROOMS: 30 SF EA. ZONE 7= MECHANICAL CLOSET: 71 SF TOTAL SF: 5,045 SF	SHEET INDEX T100 COVER A100 DIMENSION FLOOR PLAN M100 HVAN TRADE OFF TABLE M101 HVAC PLAN M102 2 HVAC SECTIONS M103 HVAC SECTION M104 DETAIL 1 – LINEAR SUPPLY DIFUSTER E100 REFLECTED CEILING PLAN F100 FIRE SPRINKLER PLAN	COMPLIANCE 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA CALGREEN CODE SECTION 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING CITY OF OCEANSIDE MUNICIPAL CODE
SITE INFORMATION A.P.N. : 148-241-06-01 LOT: 10 ZONE : C-2 LOT AREA: 10,270 SF CONSTRUCTION TYPE: OCCUPANCY: 52 PEOPLE MAX PROJECT SERVICED BY: SDG&E, MUNICIPAL SEWER	PROJECT DIRECTORY OWNER: IBLE Team ARCHITECTS: MCM STRUCTURAL ENGINEER: KPFF ENERGY TECHNICIAN: CLEANTECH SOLUTIONS	
SOPE OF WORK: NEW CONSTRUCTION		



1 3D Axo



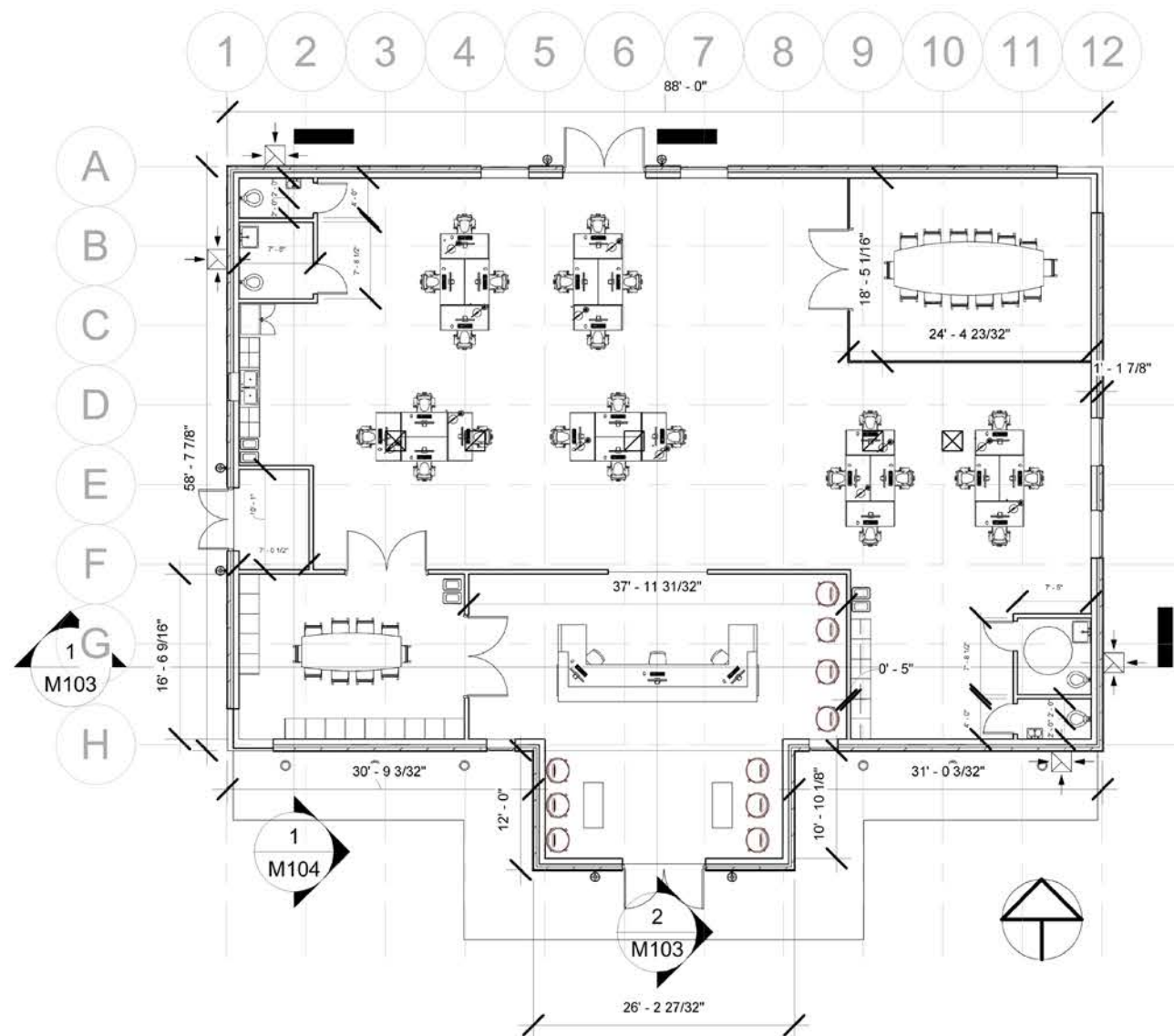
IBLE OFFICE SPACE

Minghui Li, Charlie Ngov, Megan Goemann

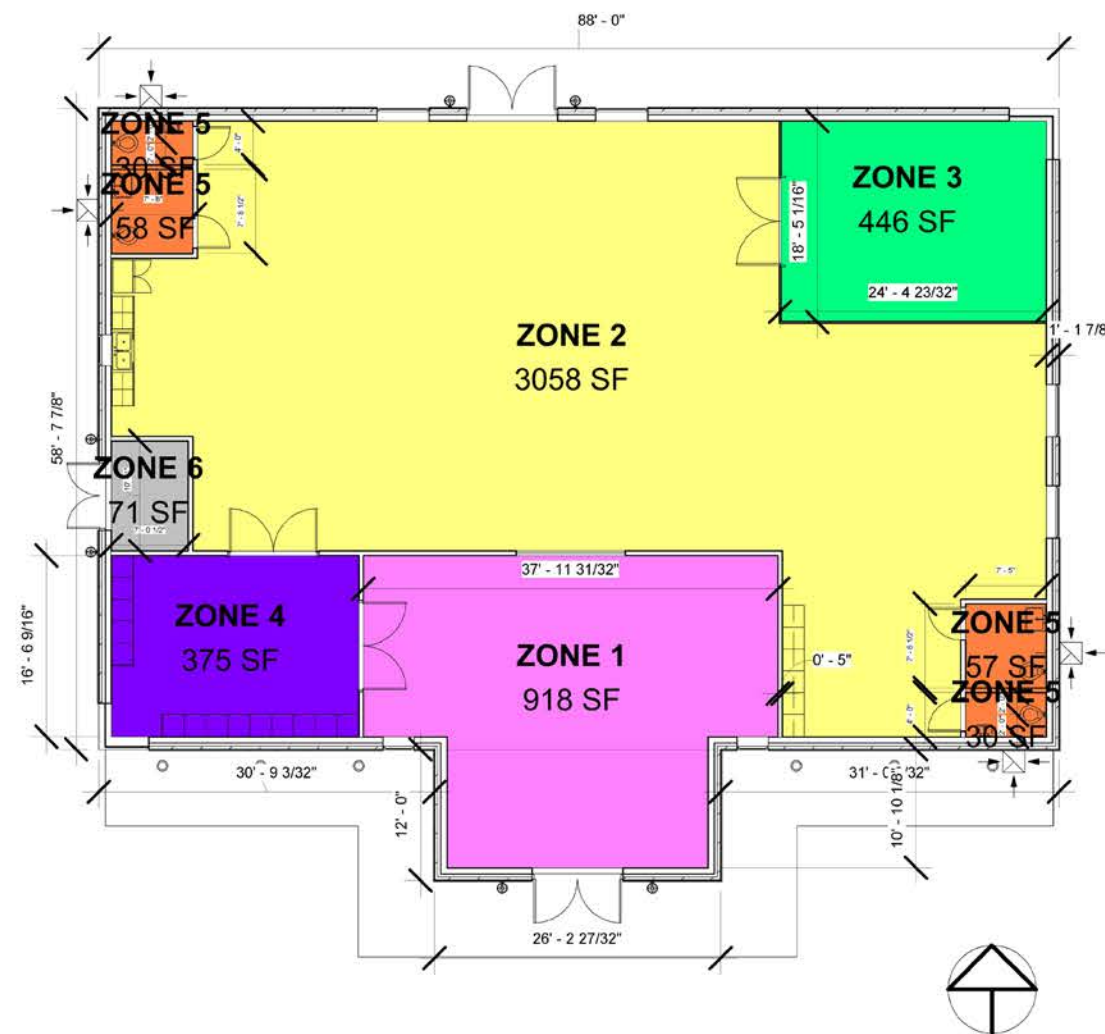
No.	Description	Date

COVER

Project number	911	T100
Date	03/03/2022	
Drawn by	MCM	
Checked by	KUZMA	
		Scale



1 Level 1
1/16" = 1'-0"



2 SQUARE FOOTAGE
1/16" = 1'-0"

No.	Description	Date

TRADE OFF TABLE

Heating and Cooling Systems for Large Buildings: Summary Chart †

Give Special Consideration to the Systems Indicted if You Want to:	Variable air Volume (VAV) [page 168]	Variable air Volume (VAV) Reheat [page 169]	Variable air Volume (VAV) Induction [page 169]	Dual-duct Variable air Volume (VAV) [page 169]
Chiller Location	Central Mechanical Room	Central Mechanical Room	Central Mechanical Room	Central Mechanical Room
Boiler Location	Central Mechanical Room	Central Mechanical Room	Central Mechanical Room	Central Mechanical Room
Fan Room Required?	Yes	Yes	Yes	Yes
Cooling Tower Required?	Yes	Yes	Yes	Yes
Distribution Type	Ducts	Ducts	Ducts	Ducts
Return air	Return Ducts to Fan Room	Return Ducts to Fan Room	Return Ducts to Fan Room	Return Ducts to Fan Room
Delivery System	Ducts to VAV box to Diffusers	Ducts to VAV box to Diffusers	Ducts to VAV box to Diffusers	Ducts to VAV box to Diffusers
Location of Delivery Unit	VAV Box above Dropped Ceiling	VAV Box above Dropped Ceiling	VAV Box above Dropped Ceiling	VAV Box above Dropped Ceiling
Minimize First Cost				
Minimize Operating Cost and Energy Consumption	●			
Maximize Control of air Velocity and Energy consumption	●	●	○	○
Maximize Individual Control over Temperature	●	●	○	○
Minimize System Noise	●	●		○
Minimize Visual Obtrusiveness	●	●	○	○
Maximize Flexibility of Rental Space	●	●	○	
Minimize Floor Space Used for the Heating and Cooling Systems			○	
Minimize Floor-to-Floor Height				
Minimize System Maintenance	●			
Avoid Having a Chimney _a	● _b	● _b	○ _b	○ _b
Maximize the Speed of Construction				

● Frequently Used
○ Less Frequently Used
a Condensing Boilers do not require traditional chimneys

DESCRIPTION

AIR IS CONDITIONED (MIXED WITH A PERCENTAGE OF OUTDOOR AIR, FLITERED, HEATED OR COOLED, AND HUMIDIFIED OR DEHUMIDIFIED) AT A CENTRAL SOURCE. SUPPLY AND RETURN FANS CIRCULATE THE CONDITIONED AIR THROUGH DUCTS TO THE OCCUPIED SPACES OF THE BUILDING. AT EACH ZONE, A THERMOSTAT CONTROLS ROOM TEMPERATURE BY REGULATING THE COLUME OF AIR THAT IS DISCHARGED THROUGH THE DIFFUSERS IN THE ZONE.

TYPICAL APPLICATIONS

VAV IS THE MOST VERSAITLE AND MOST WIDELY USED SYSTEM FOR HEATING AND COOLING LARGE BUILDINGS.

ADVANTAGES

THIS SYSTEM OFFERS A HIGH DEGREE OF LOCAL TEMPERATURE CONTROL AT MODERATE COST. IT IS ECONOMICAL TO OPERATE AND VIRTUALLY SELF-BALANCING.

DISADVANTAGES

VAV IS LIMITED TO THE RANGE OF HEATING OR COOLING DEMAND THAT MAY BE ACCOMMODATED WITHIN A SINGLE SYSTEM. WHEN ONE AREA OF A BUILDING NEEDS HEATING WHILE ANOTHER NEEDS COOLING, A VAV SYSTEM CANNOT SERVE BOTH AREAS WITHOUT HELP FROM A SECONDARY SYSTEM.



VAV UNIT

No.	Description	Date

HVAC TRADE OFF TABLE

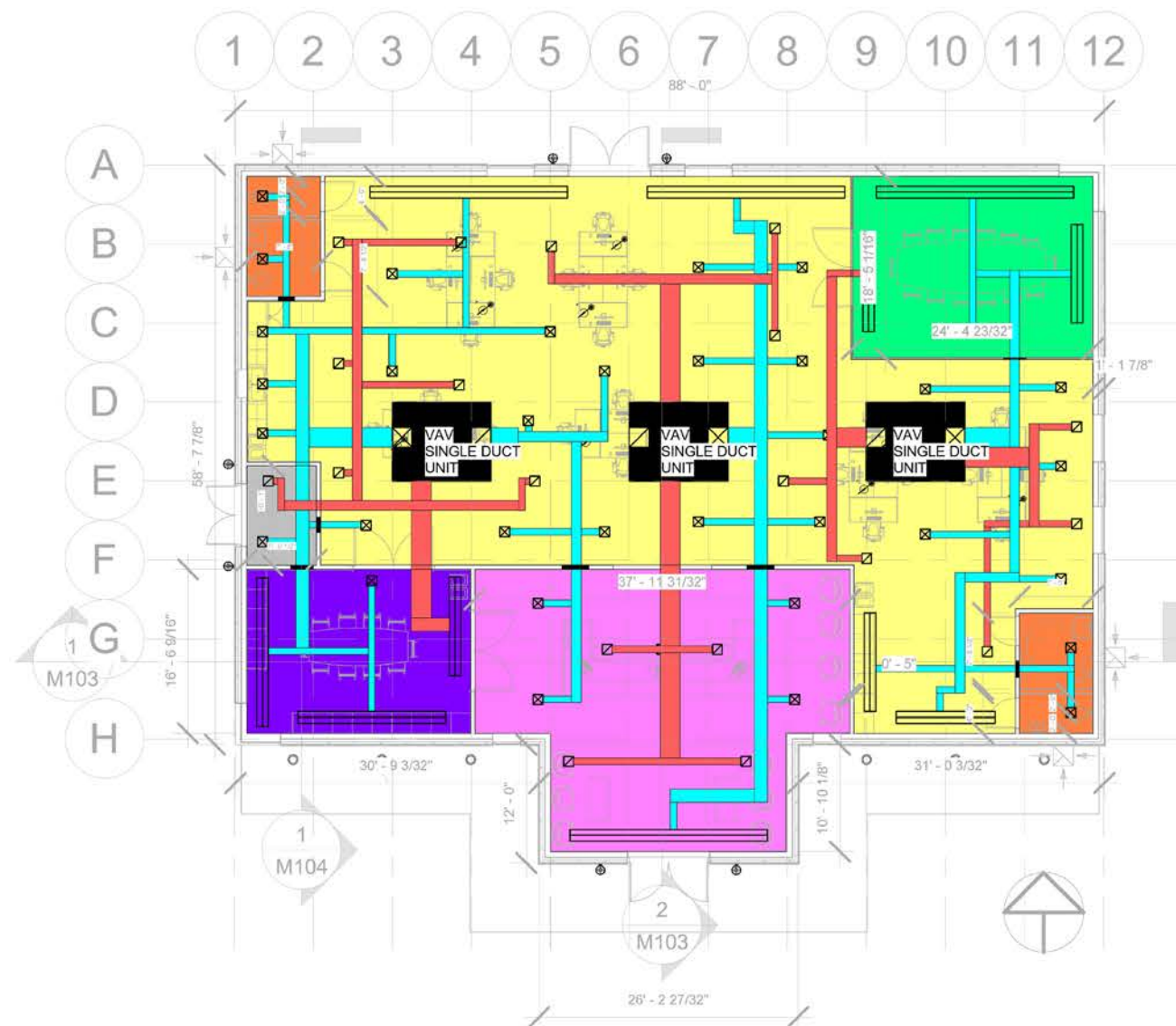
Project number	911	M100
Date	03/03/2022	
Drawn by	Author	
Checked by	Checker	Scale

LEGEND

SUPPLY

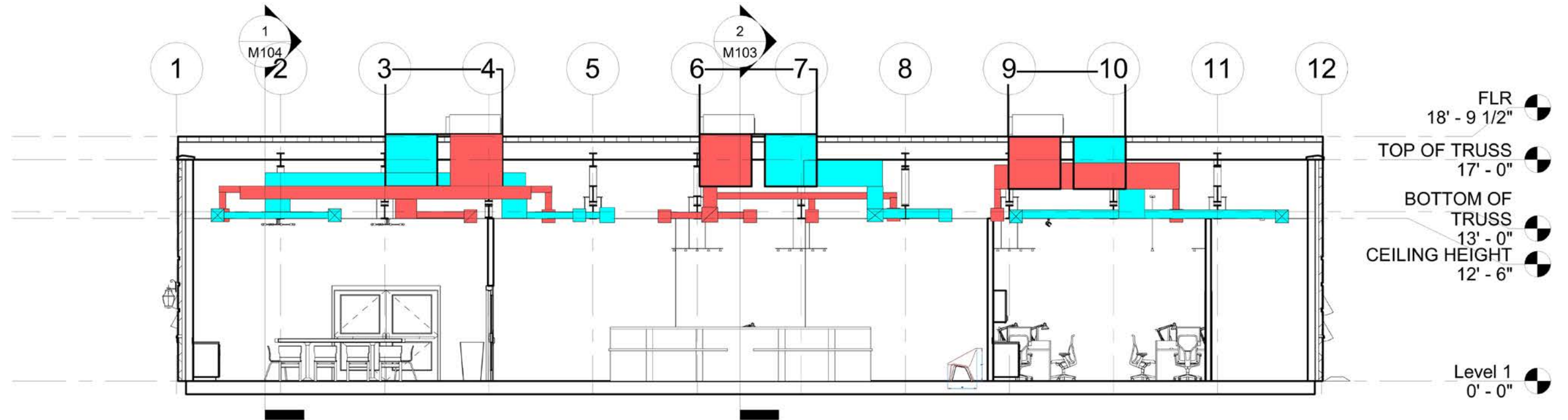
RETURN

DAMPER

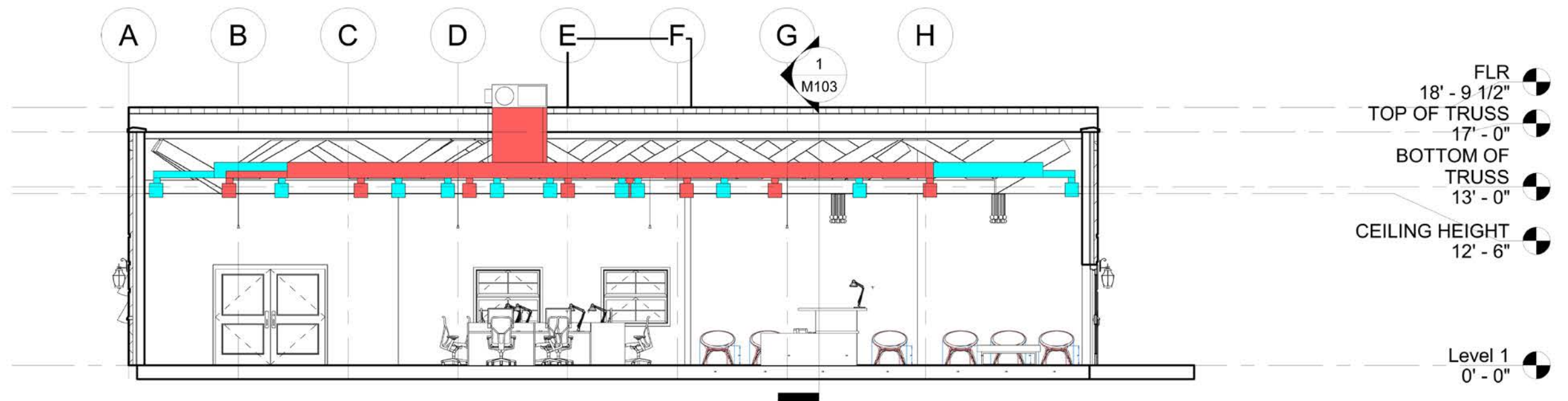


1 HVAC PLAN
1/16" = 1'-0"

No.	Description	Date



1 Section 1
1/8" = 1'-0"



2 Section 2
1/8" = 1'-0"

MCM **A** RCHITECTURE

IBLE OFFICE SPACE

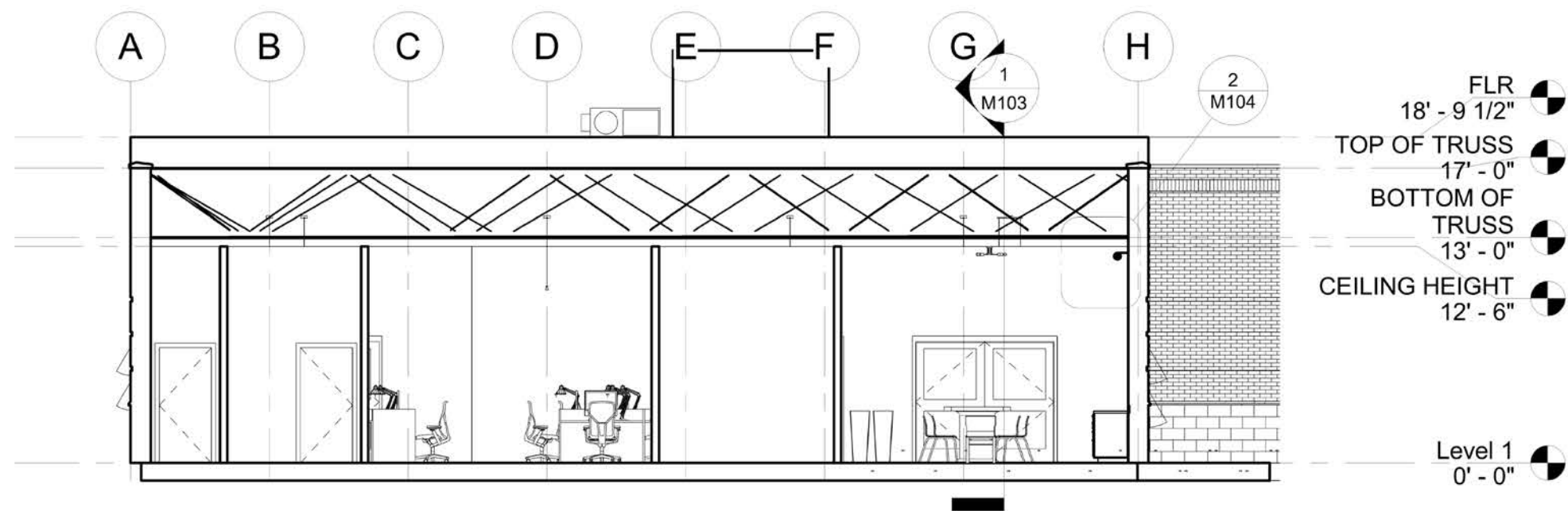
Minghui Li, Charlie Ngov, Megan Goemann

No.	Description	Date

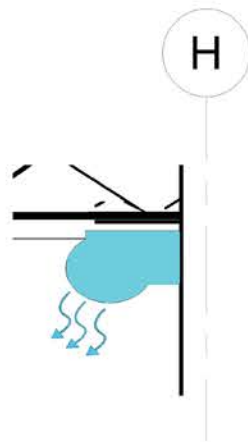
SECTIONS

Project number	911	M103
Date	03/03/2022	
Drawn by	Author	
Checked by	Checker	
Scale 1/8" = 1'-0"		

3/25/2022 9:04:22 AM



1 Section 3
1/8" = 1'-0"



2 DETAIL 1 LINEAR SUPPLY DIFUSER D14"
T.Y.P
1/4" = 1'-0"

MCM **A** RCHITECTURE

IBLE OFFICE SPACE

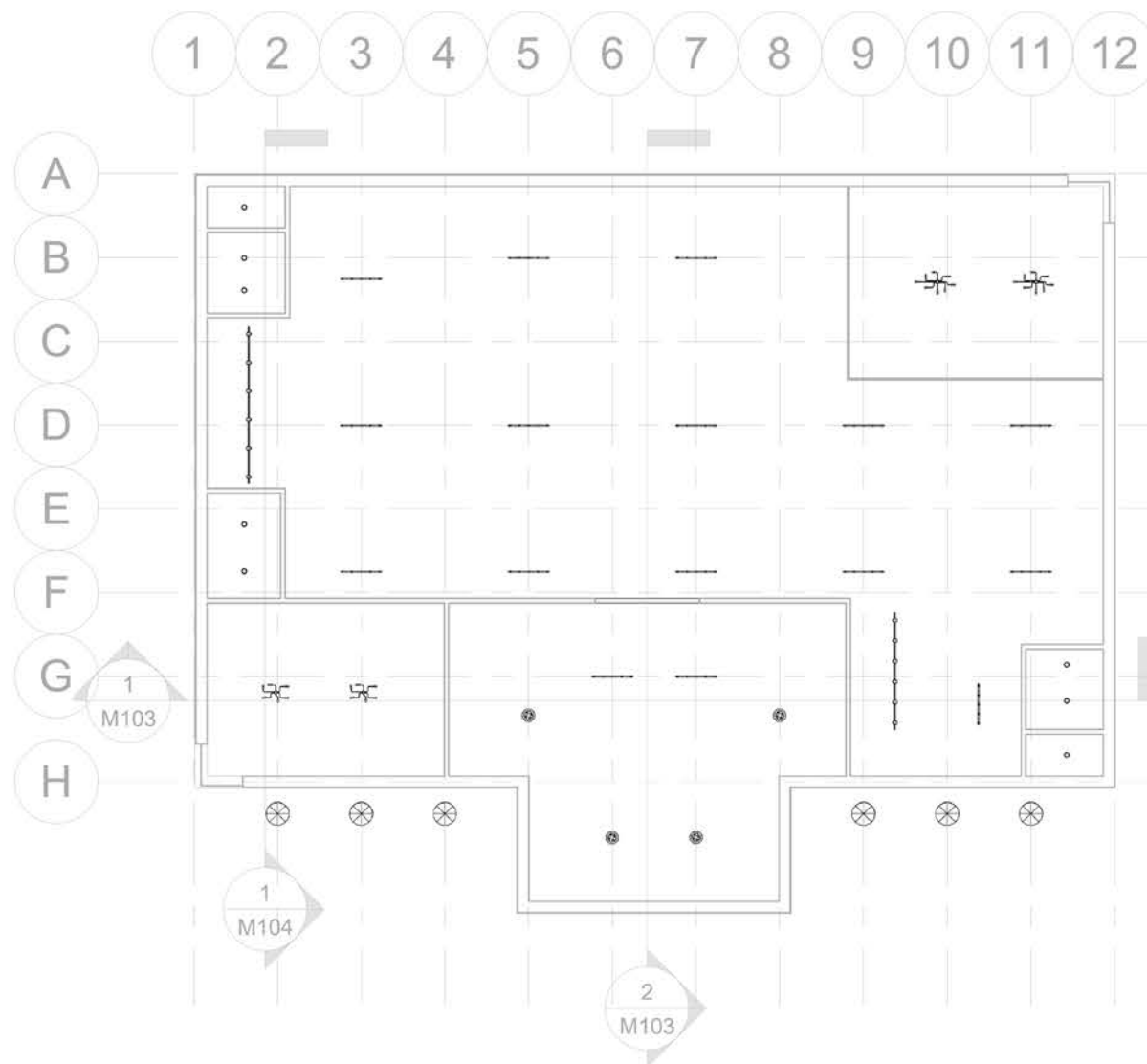
Minghui Li, Charlie Ngov, Megan Goemann

No.	Description	Date

DETAIL (EXTRA CREDIT)

Project number	911	M104
Date	03/03/2022	
Drawn by	Author	Scale As indicated
Checked by	Checker	

3/25/2022 9:04:28 AM

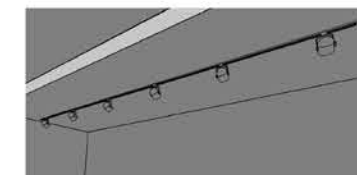


1 RCP
1/16" = 1'-0"

Lighting Fixture Schedule				
Type Mark	Type	Count	Lamp	Description
1	°	8	LED	CAN LIGHTS
2	⌂	2		SMALL CONFERENCE ROOM
3	⌂	2		LARGE CON. ROOM
4	Table Lamps	14	A-21	TASK LIGHTING
5	—•—•—•—•—•—•—•—•—•—	2	T-8	TASK LIGHTING
6	—•—•—•—•—•—•—•—•—•—	16		AMBIENT LIGHTING
7	⊗	6		EXTERIOR ACCENT LIGHTS
8	⊙	4		ENTRANCE CHANDELIERS



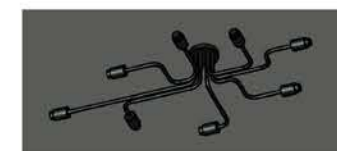
LIGHT 1



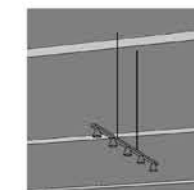
LIGHT 5



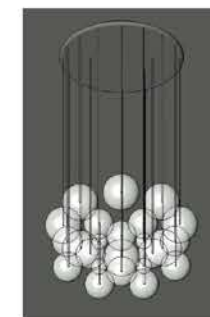
LIGHT 7



LIGHT 2 & 3



LIGHT 6



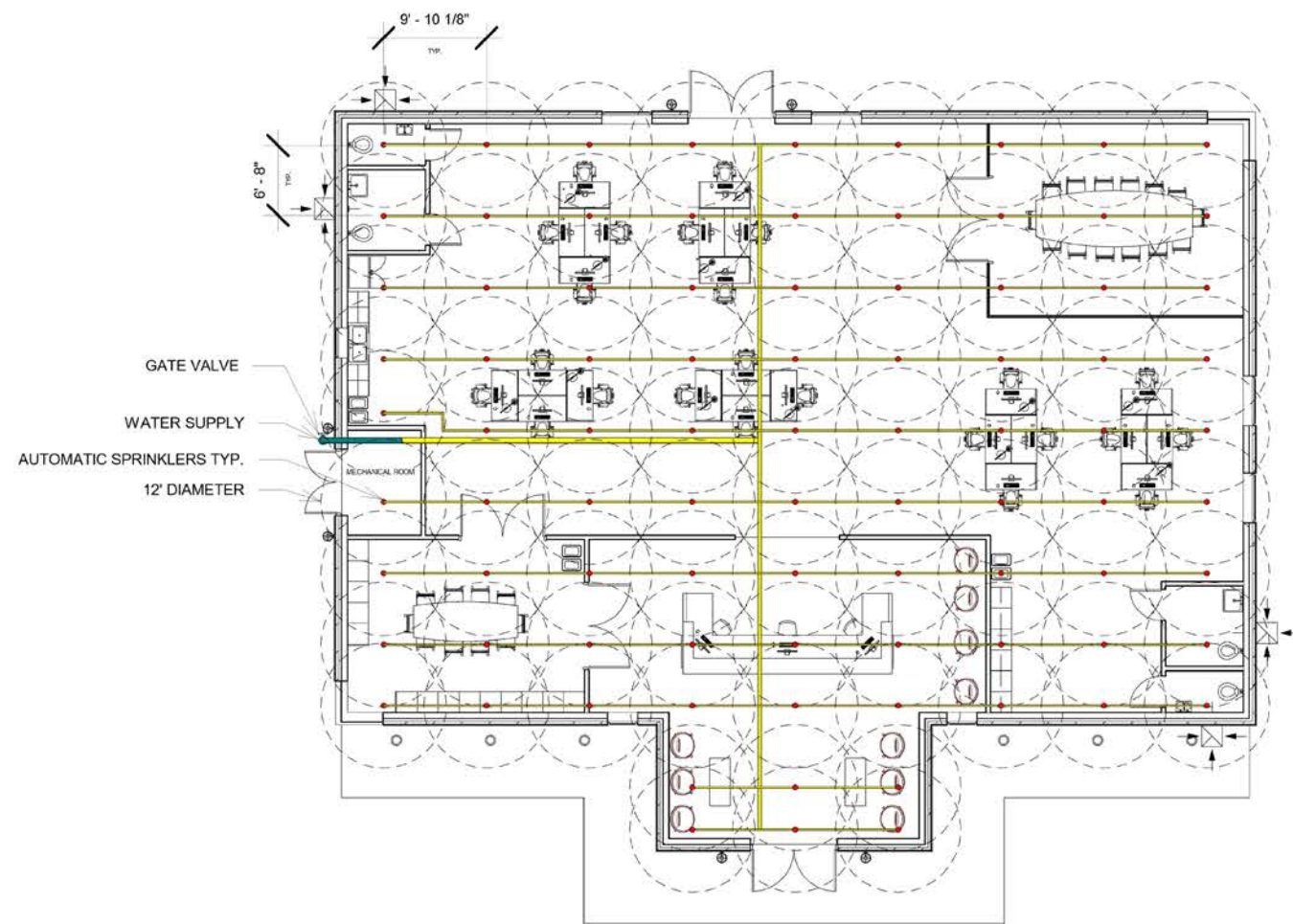
LIGHT 8



LIGHT 4

No.	Description	Date

Project number	911
Date	03/03/2022
Drawn by	Author
Checked by	Checker



1 FIRE SPRINKLER PLAN
1/16" = 1'-0"

No.	Description	Date

18



SITE INFORMATION
A.P.N.: 179-122-26-00
ZONE: DNTN VISTA SPEC PLAN PASEO SANTA FE DISTRICT
LOT AREA: 8712 S.F.
CONSTRUCTION TYPE: VB NON-SPRINKLERED
OCCUPANCY: R-3, U
PROJECT SERVICED BY:
SDG&E, MUNICIPAL SEWER

EXISTING BUILDING INFORMATION
THE EXISTING BUILDING IS NOT FIRE SPRINKLERED
BUILT:
EXISTING RESIDENCES (R-3 OCC): 2600 S.F.
EXISTING ONE CAR GARAGE: 165 S.F.
EXISTING TWO CAR GARAGE: 510 S.F.
EXISTING BREEZEWAY: 90 S.F.
EXISTIN EAVES PORCH: 487 S.F.
EXISTING LOT COVERAGE: 3852 S.F. =44 %

SCOPE OF WORK:
CONVERT 2 CAR GARAGE TO
510 S.F. ONE BEDROOM ACCESSORY DWELLING UNIT
PROPOSED RESIDENTIAL TOTAL: 3110 S.F.
PROPOSED TOTAL LOT COVERAGE: UNCHANGED

SHEET INDEX
A1 SITE PLAN
VICINITY MAP
PROJECT INFORMATION
SITE NOTES
A2 ARCHITECTURAL NOTES
ELECTRICAL NOTES
ELECTRICAL LEGEND
ALARM NOTES
MECHANICAL NOTES
PLUMBING NOTES
A3 PROPOSED FLOOR PLAN 1
WALL DETAILS
A4 PROPOSED ADU FLOOR PLAN
PROPOSED ADU DIMENSION PLAN
PROPOSED ADU ELECTRICAL PLAN
OPENING SCHEDULES
A5 SECTION
PROPOSED ROOF PLAN
EXTERIOR ELEVATIONS

PROJECT DIRECTORY
OWNER: ORLANDO ROLIS
760-802-4493
164 PALA VISTA DR.
VISTA CA 92083
ARCHITECT:
ANNE PARIZEAU LIC. NO. C19682
760-201-3347
5304 ONTARIO ST. OCEANSIDE CA 92056

COMPLIANCE
PROJECT TO COMPLY WITH:
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALGREEN CODE SECTION 4.408 CONSTRUCTION WASTE
REDUCTION, DISPOSAL AND RECYCLING
CITY OF VISTA MUNICIPAL CODE

[illegible]

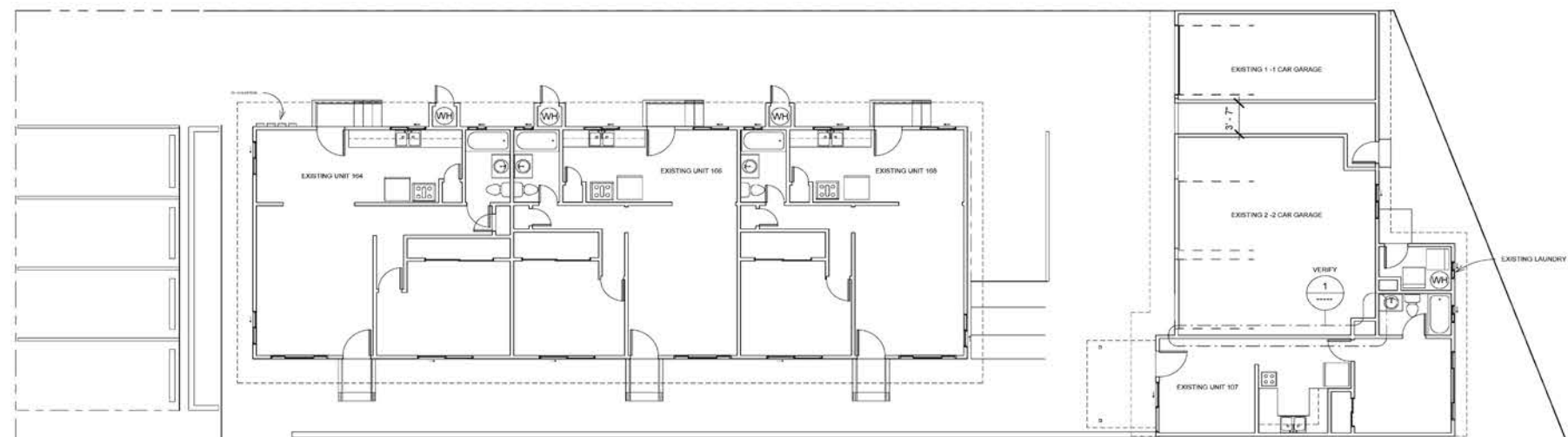
Anne the Architect
AnnetheArchitect.com AnnetheArchitect@gmail.com
760-201-3347 Anne Pariseau Lic No C19682

ROLIS ADU
167 PALA VISTA
DR. VISTA, CA.
92083

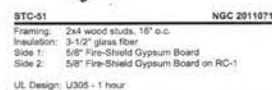
SITE PLAN

Project Number	21-110
Date	8-21
Scale	NOTED

A1



TRUE NORTH PLAN NORTH



EXTERIOR WALL DETAIL (3)

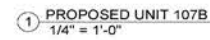
Anne the Architect
AnnetheArchitect.com AnnetheArchitect@gmail.com
760-201-3347 Anne Parizeau Lic No C19682

ROLIS ADU
167 PALA VISTA
DR. VISTA, CA.
92083

EXISTING

Project Number	21-110
Date	8-21
Scale	As indicated

A3



OPENING SCHEDULES

ALL NEW GLAZING TO BE DUAL GLAZED
U FACTOR MIN 0.3 SHGC FACTOR MAX 0.23
ALL NEW GLAZING TO BE INSTALLED WITH A CERTIFYING
LABEL ATTACHED, SHOWING THE U-VALUE.

NOTES FOR OPENINGS

FIRE EXIT. OPENING SATISFIES FIRE ESCAPE MINIMUM WHICH IS 20 INCHES WIDE,
24 INCHES HIGH, OPENING OF WINDOW 44 INCHES ABOVE FINISHED FLOOR
AND MINIMUM NET CLEAR OPENING OF 5.7 S.F. EXIT AREA.

TEMP. EACH TEMPERED PANE IS TO BEAR THE MANUFACTURER'S MARK DESIGNATING THE TYPE AND THICKNESS OF THE GLASS. THE IDENTIFICATION MARK SHALL BE PERMANENT: ACID ETCHED, SAND BLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED OR OF A TYPE THAT, ONCE APPLIED, CANNOT BE REMOVED WITHOUT BEING DESTROYED.

GARAGE. DOOR BETWEEN GARAGE AND DWELLING TO BE SELF-CLOSING, TIGHT-FITTING 1-3/8" THICK SOLID WOOD DOOR OR 20 MIN. FIRE RATED.

LEGEND FOR OPENINGS

3040 INDICATES 3'-0" WIDE X 4'-0" HIGH
5-10 X 2-10 INDICATES 5'-10" WIDE X 2'-10" HIGH

EX = EXISTING

SC = SOLID CORE

HC = HOLLOW CORE

FR DR = FRENCH DOOR

F = FIXED

SL = SLIDER
O/HD GAR = OVERHEAD GARAGE DOOR

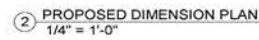
AWN = AWNING (SEE ELEVATION FOR LOC'N OF HINGE)

CS = CASEMENT (SEE PLAN FOR DIRECTION OF SWING)

SH = SINGLE HUNG, BOT SLIDES UP

X = OPENING SIDE

O = FIXED GLAZING

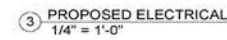


DOOR SCHEDULE

DOOR	NOTES
1 NEW 3068 SC	
2 NEW 2668 HC W/ LOCK	
3 NEW 2668 HC W/ LOCK	

WINDOW SCHEDULE

WINDOWS	NOTES
A NEW 5-10 x 2-10 SL	16.5 S.F.
B NEW 4040 SL	16 S.F. FIRE EXIT



ELECTRICAL LEGEND

-  120 V DUPLEX RECEPTACLE @ 12" AFF UNO
COMPLY W/ NEC ART. 210-52A
-  120V DUPLEX RECEPTACLE - GROUND FAULT
CIRCUIT INTERRUPTER 42" AFF
-  120V DUPLEX RECEPTACLE - GFCI
-  FLOOR RECEPTACLE
-  4-PLEX RECEPTACLE
-  240 V SUPPLY AT 12" AFF
-  SWITCH @ 36" AFF UNO
-  3-WAY SWITCH @ 36" AFF UNO
-  4-WAY SWITCH @ 36" AFF UNO
-  "D" OR "DIM" = DIMMER
-  VACANCY SENSOR
-  MOTION SENSOR/PHOTO CONTROLLED
-  WATERPROOF
-  CEILING-MOUNTED LED FIXTURE
-  WALL-MOUNTED LED FIXTURE
-  LED "CAN" LIGHT
-  CEILING FAN - VENTILATION TYPE
-  CEILING FAN
-  UNDER CABINET LIGHT STRIP MAX 20 WATT/FOOT
-  JUNCTION BOX
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  COMBO SMOKE AND CARBON MONOXIDE DETECTOR
-  CABLE CONNECTION

"E" = EXTERIOR LED LIGHT WATERPROOFED,
MOTION SENSOR/PHOTO CONTROLLED

WP = WATERPROOF
WR = WATER RESISTANT
MS = MOTION SENSOR

ELECTRIC NOTES: SEE NOTES ON SHEET A2

ROOM NAME	NOTE
BATHROOMS	E1
KITCHEN	E2
BEDROOMS	E3
WORKOUT ROOM	E3
GREAT ROOM	E3
GARAGE	E4
WORKSHOP	E4
HALLS	E5
COVERED PATIO	E6
OUTDOOR LIGHTS	E6



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ROLIS ADU
167 PALA VISTA
DR. VISTA, CA.
92083

PROPOSED

Project Number	21-110
Date	8-21
Scale	As indicated

A4



ROLIS ADU
167 PALA VISTA
DR. VISTA, CA.
92083

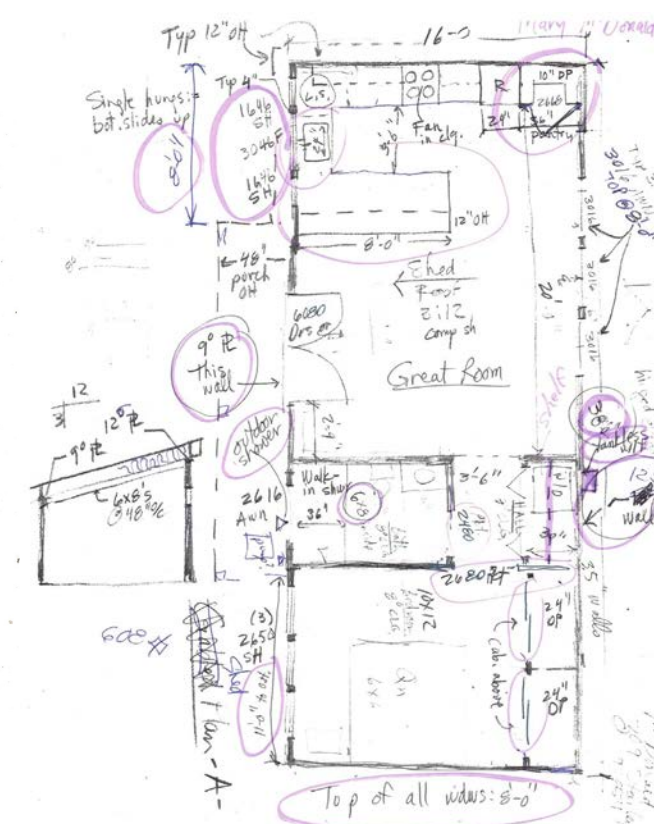
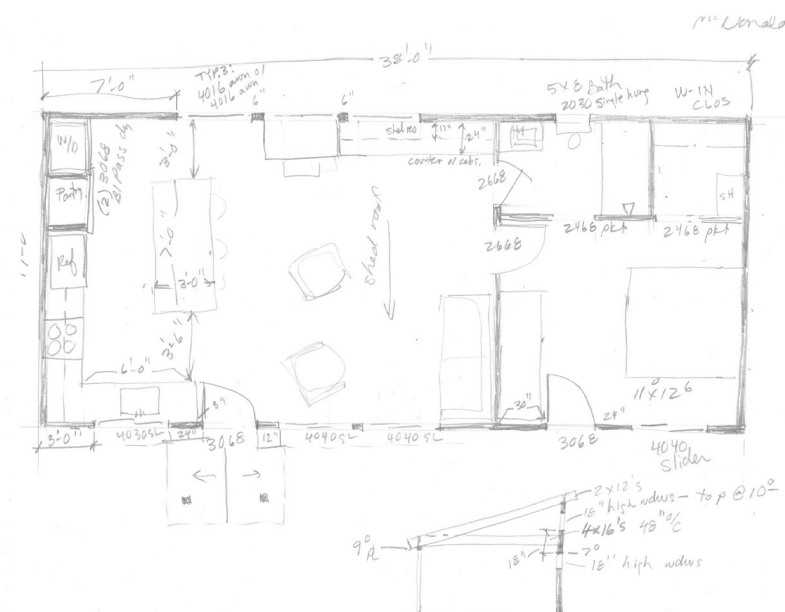
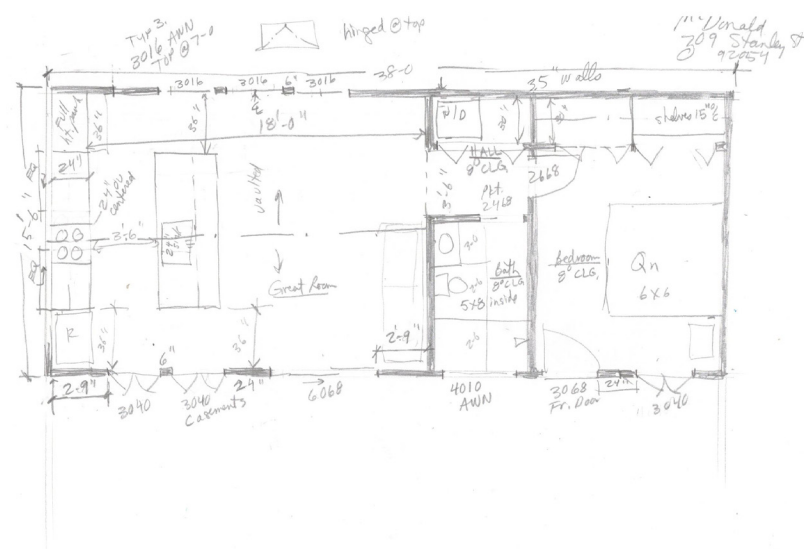
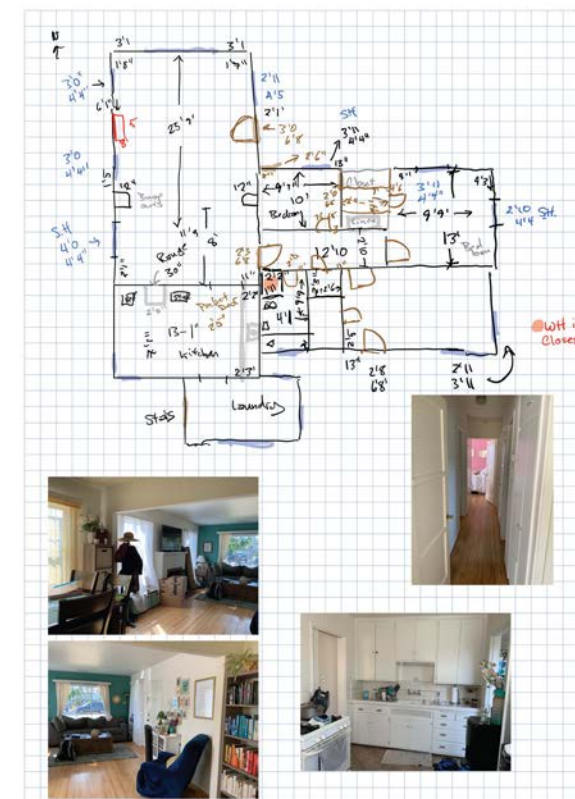
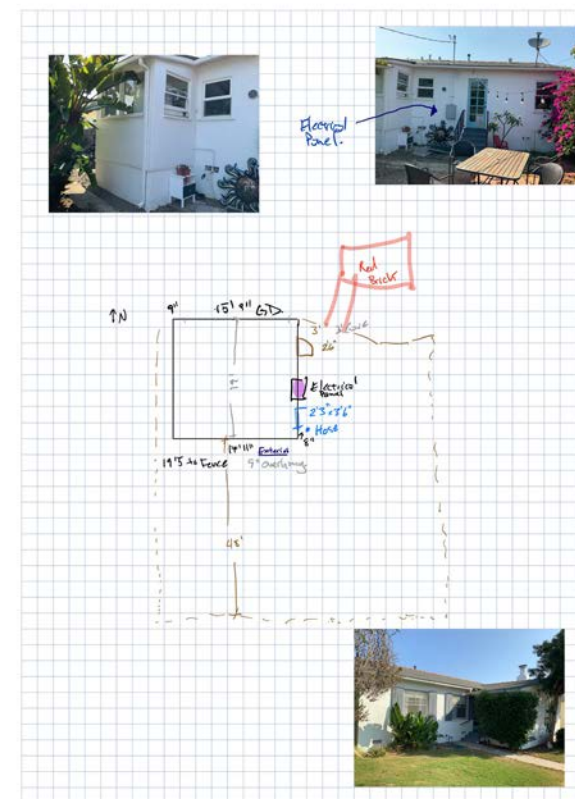
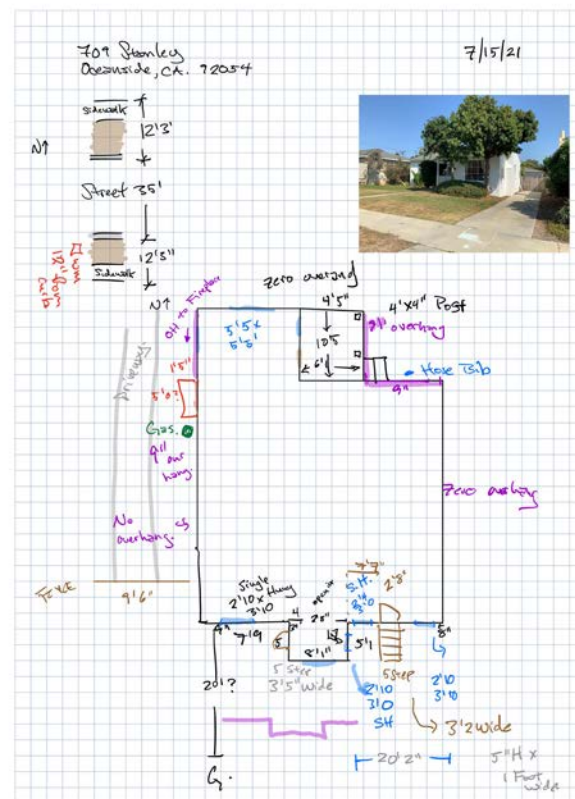
Project Number	21-110
Date	8-21
Scale	As indicated

21

709 Stanley

Shown here are the site visit notes for the as built drawings, the construction documents for this project are on the following pages.

The Notability app on an iPad was used for site documentation.



Two different floor plans with specs given to me by my employer for me to draft in Revit. Once those were presented to the client revisions were made based on the clients feedback and desires, and the construction documents were completed.



FLOOR PLAN



KITCHEN SECTION



FRONT ENTRANCE



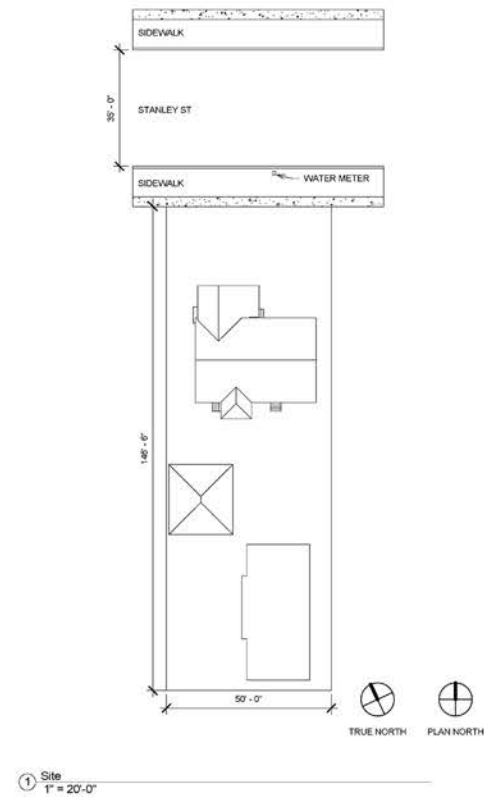
FLOOR PLAN



KITCHEN SECTION



FRONT ENTRANCE

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OCEANSIDE, CA.
92054

Project Number	Project Number
Date	Issue Date
Scale	1" = 20'-0"

A1



MCDONALD
709 STANLEY,
OCEANSIDE, CA.
92054

EXISTING	
Project Number	Project Number
Date	Issue Date
Scale	1/4" = 1'-0"
A3	





① PROPOSED ADU
1/4" = 1'-0"

OPENING SCHEDULES

ALL NEW GLAZING TO BE DUAL GLAZED
U FACTOR MIN 0.3 SHGC FACTOR MAX 0.23
ALL NEW GLAZING TO BE INSTALLED WITH A CERTIFYING
LABEL ATTACHED, SHOWING THE U-VALUE.

NOTES FOR OPENINGS

FIRE EXIT. OPENING SATISFIES FIRE ESCAPE MINIMUM WHICH IS 20 INCHES WIDE, 24 INCHES HIGH, OPENING OF WINDOW 44 INCHES ABOVE FINISHED FLOOR AND MINIMUM NET CLEAR OPENING OF 5.0 S.F. EXIT AREA AT GROUND FLOOR, 5.7 S.F. AT FLOORS ABOVE IF APPLICABLE.

TEMP. EACH TEMPERED PANE IS TO BEAR THE MANUFACTURER'S MARK DESIGNATING THE TYPE AND THICKNESS OF THE GLASS. THE IDENTIFICATION MARK SHALL BE PERMANENT: ACID ETCHED, SAND BLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED OR OF A TYPE THAT, ONCE APPLIED, CANNOT BE REMOVED WITHOUT BEING DESTROYED.

LEGEND FOR OPENINGS

3040 INDICATES 3'-0" WIDE X 4'-0" HIGH
5-10 X 2-10 INDICATES 5'-10" WIDE X 2'-10" HIGH
EX = EXISTING

EX = EXISTING
SC = SOLID CORE
HC = HOLLOW CORE
FR DR = FRENCH DOOR
F = FIXED
SL = SLIDER
OHD GAR = OVERHEAD GARAGE DOOR
AWN = AWNING (SEE ELEVATION FOR LOC'N OF HINGE)
CS = CASEMENT (SEE PLAN FOR DIRECTION OF SWING)
SH = SINGLE HUNG, BOT SLIDES UP
X = OPENING SIDE
O = FIXED GLAZING

DOOR SCHEDULE

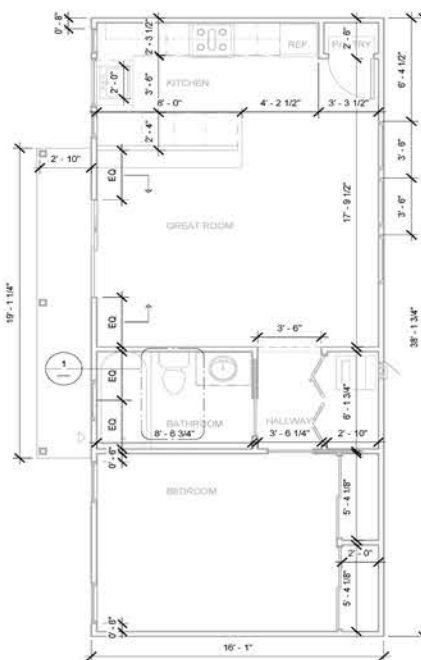
DOOR SCHEDULE

1	6068 SL	TEMP
2	2668 HC	
3	2668 PKT	
4	5068 HC BIFOLD	
5	2668 PKT	
6	5068 BIPASS	
7	5068 BIPASS	

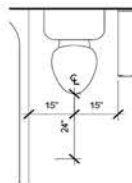
WINDOW SCHEDULE

TOP OF WINDOWS TO BE 6'-8" U.N.O.

A 1,2,3 3016 AWN TOP AT 7'-6"
B 1,2 2650 SH FIRE EXIT / LOWER SLIDES UP
C 2616 AWN TEMP
D 1,2 1630 SH LOWER SLIDES UP
E 3030 F



② PROPOSED DIMENSION PLAN
1/4" = 1'-0"



① PROPOSED TOILET DIMENSION PLAN
1/2" = 1'-0"



③ PROPOSED ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRIC NOTES: SEE NOTES ON SHEET A2

ROOM NAME	NOTE
BATHROOMS	E1
KITCHEN	E2
BEDROOMS	E3
WORKOUT ROOM	E3
GREAT ROOM	E3
GARAGE	E4
WORKSHOP	E4
HALLS	E5
COVERED PATIO	E6
OUTDOOR LIGHTS	E6

ELECTRICAL LEGEND

- Ⓢ 110 V DUPLEX RECEPTACLE @ 12" APF UNO
CONVLY BY NEC ART. 210-52A
- Ⓢ 110V DUPLEX RECEPTACLE - GROUND FAULT
CIRCUIT INTERRUPTER @ 12" APF
- Ⓢ 110V DUPLEX RECEPTACLE - GFCI
- Ⓢ FLOOR RECEPTACLE
- Ⓢ 4-FLX RECEPTACLE
- 250 Ⓢ 220 V SUPPLY AT 12" APF
- Ⓢ SWITCH @ 36" APF UNO
- 3 Ⓢ 3-WAY SWITCH @ 36" APF UNO
- Ⓢ 4-WAY SWITCH @ 36" APF UNO
- Ⓢ DIMMER
- V/S VACUUM SENSOR
- H/F MOTION SENSOR/PHOTO CONTROLLED
- W/P WATERPROOF
- Ⓢ CEILING-MOUNTED FIXTURE
- Ⓢ WALL-MOUNTED FIXTURE
- Ⓢ LED "CAY" LIGHT
- Ⓢ LED "CAY" LIGHT - RECESS-IC LISTED - AIR TIGHT, LABELED, NO STANDARD NED. BASE SCREW
SHEAL-FLAP HOOKS
- Ⓢ CEILING FAN - VENTILATION TYPE
- Ⓢ CEILING FAN
- Ⓢ UNDER CABINET LIGHT STRIP MAX 30 WATT/FOOT
- Ⓢ HUNCTION ROOF
- Ⓢ SMOKE DETECTOR
- Ⓢ CARBON MONOXIDE DETECTOR
- Ⓢ COMBO SMOKE AND CARBON MONOXIDE DETECTOR
- Ⓢ CABLE CONNECTION
- Ⓢ PHONE LANALINE CONNECTION

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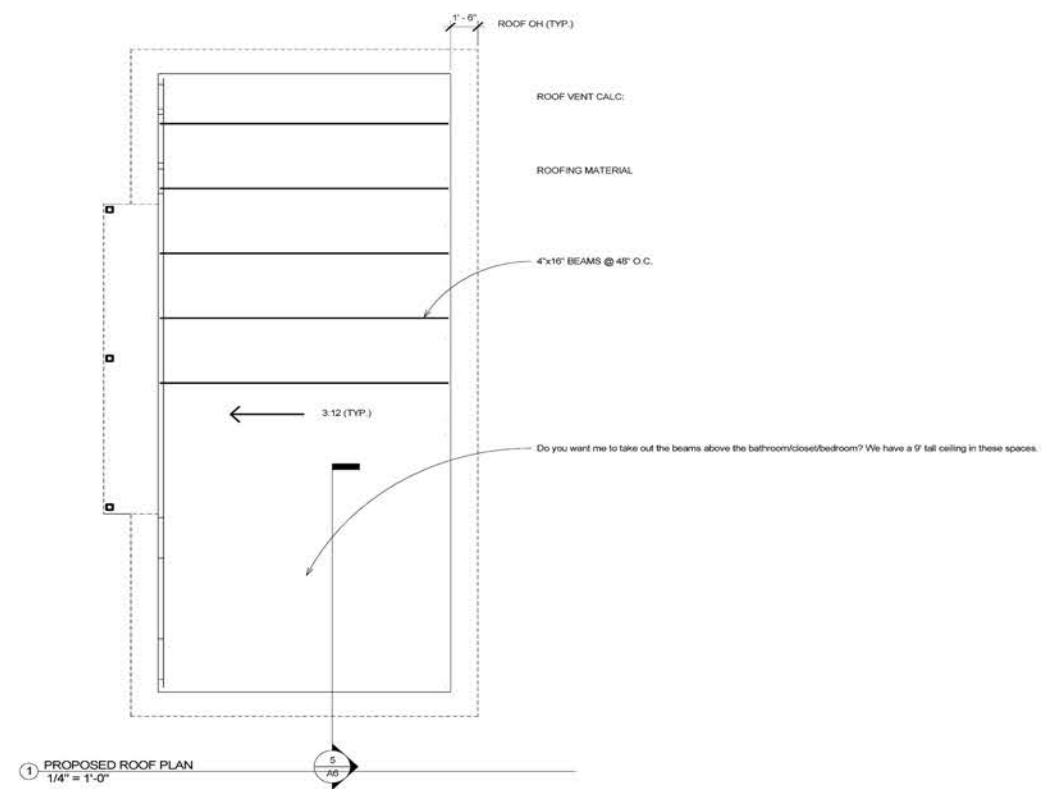
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MCDONALD
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PROPOSED

Project Number	Project Number
Date	Issue Date
Scale	As indicated

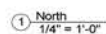
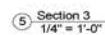
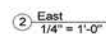
A4



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PROPOSED 2

A5

[illegible]

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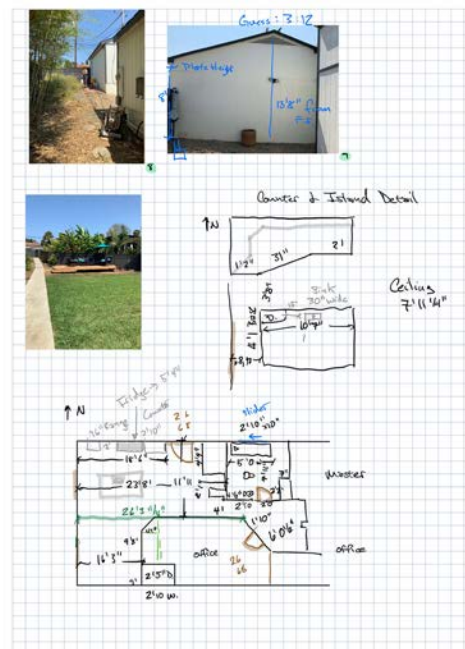
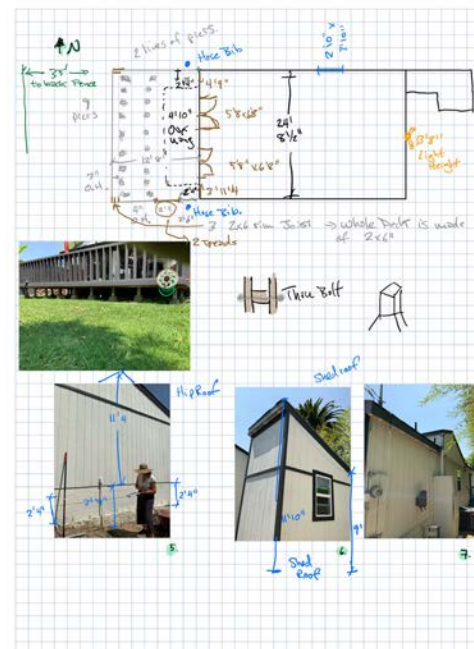
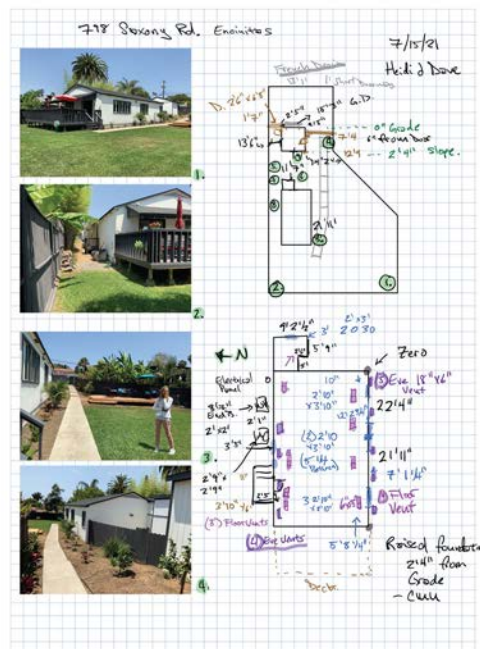
ELEVATIONS

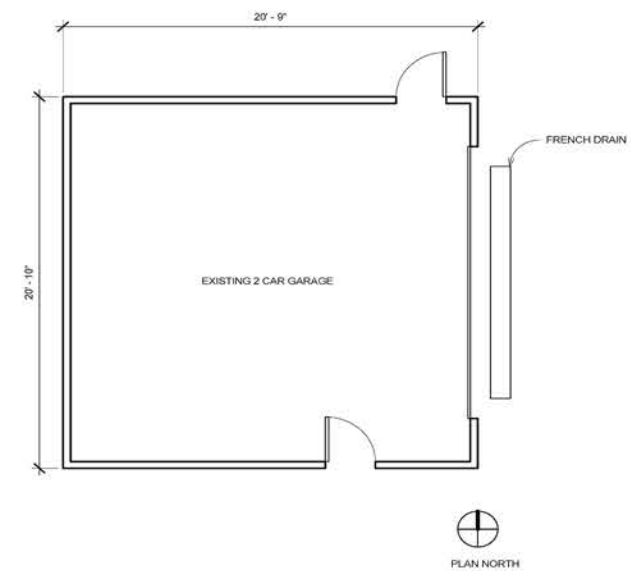
Project Number	Project Number
Date	Issue Date
Scale	1/4" = 1'-0"

A6

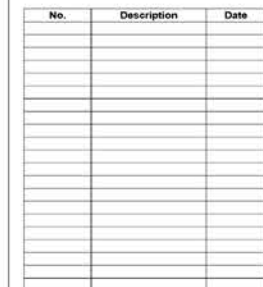
798 Saxony Rd.

This project differs from the last two. Instead of being an ADU, it is an addition connecting the garage to the home.





① EXISTING FLOOR PLAN
1/4" = 1'-0"



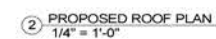
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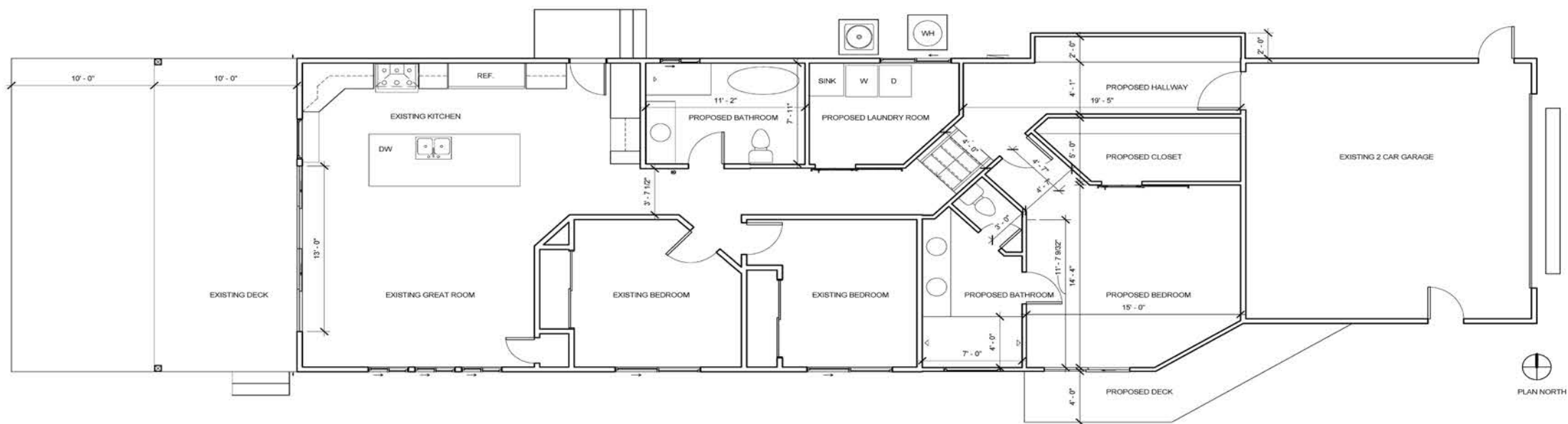
NAUDIN
RESIDENCE
ADDITION
789 SAXONY RD.
ENCINITAS, CA.
92024

EXISTING /
PROPOSED

Project Number	Project Number
Date	Issue Date
Scale	1/4" = 1'-0"

A3





① PROPOSED DIMENSION PLAN
1/4" = 1'-0"

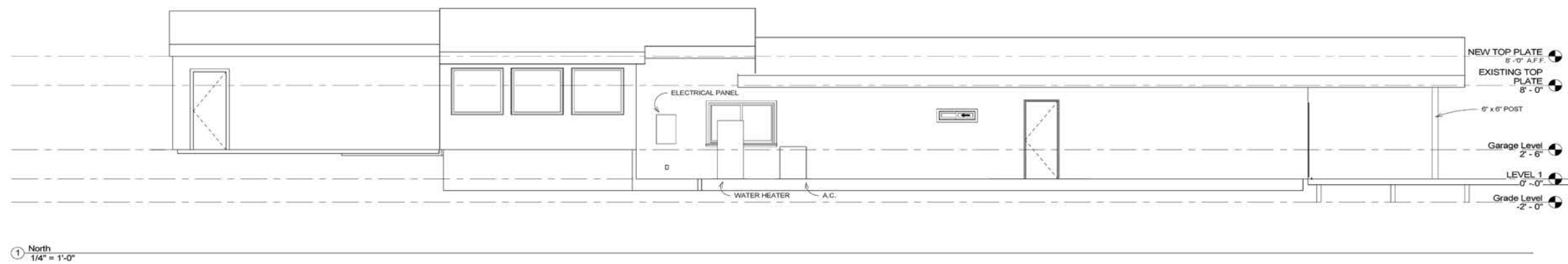
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NAUDIN
RESIDENCE
ADDITION
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92024

PROPOSED 4

Project Number	Project Number
Date	Issue Date
Scale	1/4" = 1'-0"

A6



NEW TOP PLATE
8'-10" A.F.F.

EXISTING TOP PLATE
8'-0"

Garage Level
2'-6"

LEVEL 1
0'-0"

Grade Level
-2'-0"

NEW TOP PLATE
8'-0" A.F.F.

EXISTING TOP
PLATE
8'-0"

LEVEL 1
0'-0"

Architectural elevation drawing of the rear of a building. The drawing shows a long, low structure with a gabled roof. On the left, there are three sets of double windows. In the center, there is a set of double doors. To the right of the doors, there is a single window. Further right, there is a large door with a diagonal brace. The roof is labeled "EXISTING GABLE ROOF" and "NEW GABLE ROOF". The elevation is marked with levels: "NEW TOP PLATE 8'-0" A.P.F.", "EXISTING TOP PLATE 8'-0\"", "Garage Level 2'-6\"", "LEVEL 1 0'-0\"", and "Grade Level -2'-0\"".

③ South
1/4" = 1'-0"

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ELEVATIONS

Project Number	Project Number
Date	Issue Date
Scale	1/4" = 1'-0"

A7